

BID SET

01.06.25



Clackamas Fire District: Station 12

18081 S Harding Rd
Oregon City, OR 97045



Digitally signed by Sid Scott
Date: 2025.01.06 16:36:25-0800

Clackamas Fire District: Station 12

Job Number: #24115

18081 S Harding Rd
Oregon City, OR 97045



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GENERAL PROJECT NOTES	
REFER TO OWNER-CONTRACTOR AGREEMENT FOR GENERAL CONDITIONS. WHERE THERE IS A CONFLICT BETWEEN THE CONTRACT AND NOTES HEREIN, THE CONTRACT TAKES PRECEDENCE.	
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, AND ADDENDA.	
2. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.	
3. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.	
4. GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A BROOM CLEAN CONDITION AT ALL TIMES DURING THE PROJECT.	
5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS HE OR SHE MAY DISCOVER. BRING UNFORESEEN CONDITIONS TO ATTENTION OF ARCHITECT UPON DISCOVERY AT ANY POINT. THE MEANS OF CORRECTING ANY ERROR OR UNFORESEEN CONDITION SHALL FIRST BE APPROVED BY THE ARCHITECT.	
6. ALL REQUIRED CITY AND/OR COUNTY LICENSE SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRADE.	
7. THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.	
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.	
9. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS' CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF STAMPED CITY APPROVED PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTIONS FOR REFERENCE DURING CONSTRUCTION.	
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.	
11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.	
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION.	
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.	
14. CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL WALL MOUNTED SHELVES, EQUIPMENT, ACCESSORIES, CABINETS, ETC.	
15. CONTRACTOR TO PROTECT ALL TREES AND ROOTS NOT SLATED FOR REMOVAL DURING CONSTRUCTION.	
16. GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.	
17. GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION STAKING.	

PROJECT TEAM	
OWNER	CLACKAMAS FIRE DISTRICT #1 11300 SE FULLER RD MILWAUKEE, OR 97222 TEL: 503.793.6158 FAX: Fax CONTACT: DENISE TOYOOKA EMAIL: denise.toyooka@clackamasfire.com
ARCHITECT	SCOTT EDWARDS ARCHITECTURE, LLP 2525 E. BURNSIDE STREET PORTLAND, OREGON 97214 TEL: 503.226.3617 FAX: 503.226.3715 CONTACT: TOM BYRNE EMAIL: tbyrne@sealp.com
STRUCTURAL ENGINEER	WDY, INC. 6443 SW BEAVERTON-HILLSDALE HWY, SUITE 210 PORTLAND, OREGON 97221 CONTACT: DALE DLORETO EMAIL: ddale@wdy.com
MECHANICAL ENGINEER	INTERFACE ENGINEERING, INC 100 SW MAIN ST. #1600 PORTLAND, OR 97204 TEL: 503.382.2266 CONTACT: AARON SCHIESS EMAIL: aaronsc@interfaceeng.com
ELECTRICAL ENGINEER	INTERFACE ENGINEERING, INC 100 SW MAIN ST. #1600 PORTLAND, OR 97204 TEL: 503.382.2704 CONTACT: TESS ELLSWORTH EMAIL: tess@interfaceeng.com
PLUMBING ENGINEER	INTERFACE ENGINEERING, INC 100 SW MAIN ST. #1600 PORTLAND, OR 97204 TEL: 503.382.2734 CONTACT: TODD KOLIBABA EMAIL: toddk@interfaceeng.com

PROJECT SUMMARY	
PROJECT ADDRESS:	18081 S. HARDING RD, OREGON CITY, OR 97045
TAX LOT:	#23E3401202
LEGAL DESCRIPTION:	SECTION 34, TOWNSHIP 2S, RANGE 3E, TAX LOT 01202
ZONING:	EFU - EXCLUSIVE FARM USE DISTRICT
SITE AREA:	1.96 ACRES
BUILDING AREA:	5,383 SF (NO NEW ADDITIONS PROPOSED)
YEAR BUILT:	1980
EXISTING OCCUPANCY:	B
EXISTING USE:	FIRE STATION WITH SLEEPING LOFT (2nd FLOOR)
SEISMIC UPGRADE:	2016, PERMIT NO. B0360116
WATER SUPPLY:	WELL
SEWAGE DISPOSAL:	DRAINFIELD AND SEPTIC TANK
	ONSITE WASTEWATER EXISTING SYSTEM VERIFICATION REPORT PROVIDED BY OWNER. DATE OF INSPECTION: 6/13/2024 PERFORMED BY: PAUL M FISHER LICENSE NO: RM-49 COMPANY: BYERS SEPTIC TANK SERVICE INC.
PROJECT DESCRIPTION:	RENOVATION OF EXISTING 2-STORY WOOD FRAMED FIRE STATION FOR CLACKAMAS FIRE DISTRICT STATION 12. FIRE STATION TO NOW HAVE FULL TIME DEDICATED STAFF.
	SITE IMPROVEMENTS RESTRIPE ACCESSIBLE PARKING AREA AND PAVEMENT STRIPING FOR TRUCK LANES.
	EXTERIOR IMPROVEMENTS NO IMPROVEMENTS PROPOSED
	INTERIOR IMPROVEMENTS RENOVATE LIVING AND SLEEPING AREAS OF THE EXISTING FACILITY THAT INCLUDES THE FOLLOWING: DIVIDING DORM AREA INTO TWO SEPARATE SLEEPING ROOMS CHANGE (E) OFFICE TO FUTURE DORM ROOM. ALL NEW KITCHEN CABINETS AND APPLIANCES. RENOVATE (E) RESTROOMS AND REPLACE PLUMBING FIXTURES UNO. UPGRADE FINISHES WITH ALL NEW BASE, TRIM, PAINT, ETC.
	STRUCTURAL IMPROVEMENTS REINFORCE SECOND FLOOR AT GYM AREA WITH ADDED JOISTS AND PLYWOOD SUB-FRAMING
	MEP IMPROVEMENTS: DESIGN-BUILD MECHANICAL HVAC - EXISTING SYSTEMS ARE OLDER AND WILL BE REPLACED WITH NEW ELECTRICAL - ALL NEW LED LIGHTING PLUMBING - REPLACING PLUMBING FIXTURES AND CONNECTIONS IN EXISTING RESTROOMS AND LAUNDRY ROOM

SEPARATE PERMITS AND DEFERRED SUBMITTAL BIDDER DESIGN ITEMS

CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING, FURNISHING AND INSTALLATION OF A COMPLETE, FUNCTIONING SYSTEM(S) BASED ON THE SCHEMATIC LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS, DESCRIBED HEREIN AND IN COMPLIANCE WITH PREVAILING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL ORDERING OF ALL DEVICES AND FIXTURES TO ENSURE PROPER OPTIONS, ACCESSORIES AND CONFIGURATIONS. CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT.

UPON COMPLETION OF REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLANS REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.

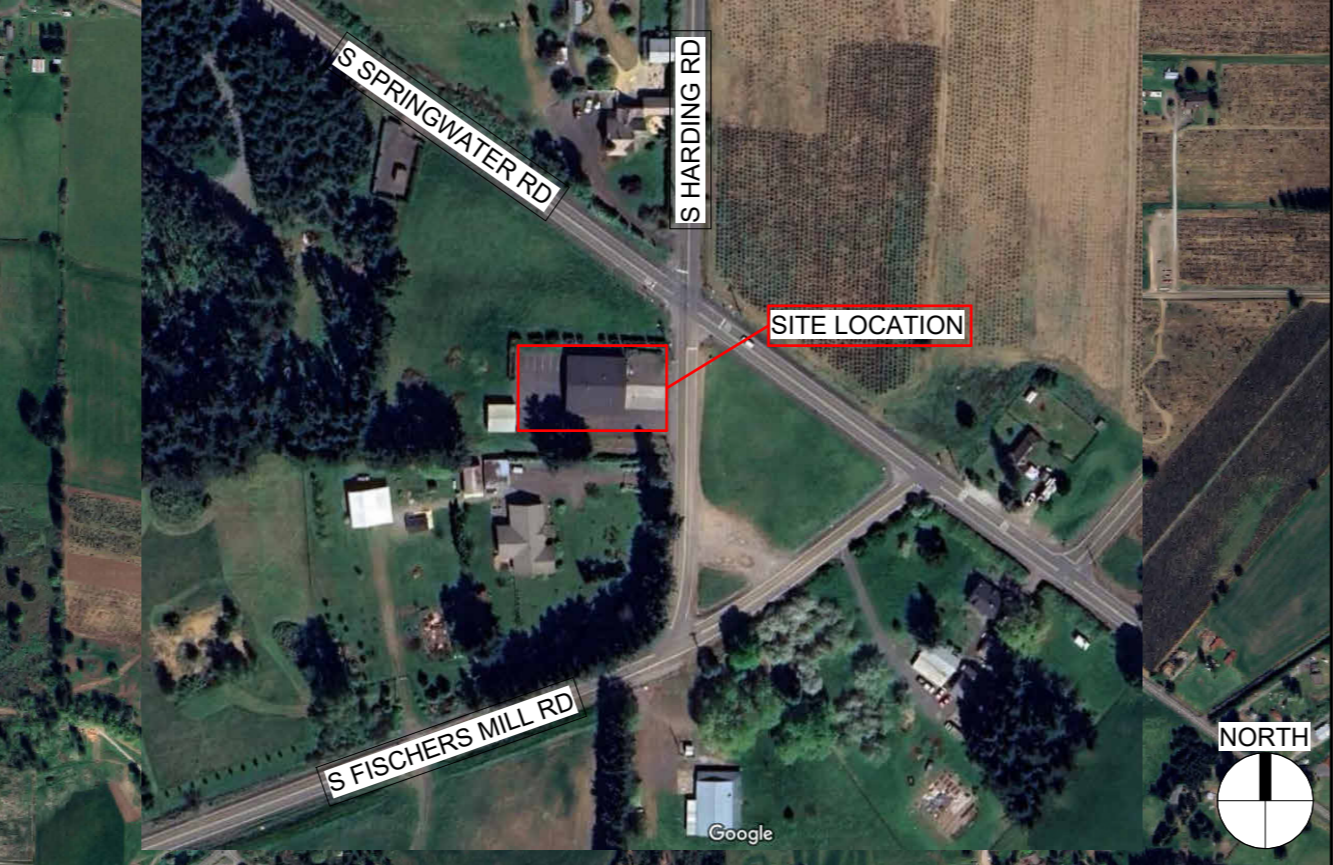
- DELEGATED / BIDDER DESIGN ITEMS:**
- MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS
 - FIRE DETECTION
- THE FOLLOWING DELEGATED ITEMS REQUIRE A DEFERRED SUBMITTAL TO JURISDICTION:
- FIRE DEPARTMENT ACCESS KEY BOX
 - HANGERS AND SUPPORT FOR HVAC
 - VIBRATION AND SEISMIC CONTROLS FOR HVAC
 - LATERAL BRACING AND ANCHORAGE OF MECHANICAL AND ELECTRICAL EQUIPMENT WEIGHING MORE THAN 75 LBS (EXCEPTIONS PER ASCE 7, SECTION 13.1.4)

SEE SPECIFICATIONS AND/OR DESIGN NARRATIVE FOR ADDITIONAL REQUIREMENTS NOT LISTED HERE AND ADDITIONAL BIDDER DESIGN ITEMS.

ALTERNATES

- IN ADDITION TO THE BASE BUILDING BID, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING ALTERNATES:
- SEE ARCHITECTURAL DRAWINGS AND PROJECT MANUAL FOR ADDITIONAL SCOPE OF ALTERNATES:
- REBUILD STAIRS TO 2ND FLOOR
 - LAUNDRY ROOM 113 (LOCKER ROOM)
 - PROVIDE POWER, WATER, TRAP PRIMER, AND VENT FOR WASHER AND DRYER
 - ROOM VENTILATION FOR LAUNDRY EQUIPMENT
 - NEW CASEWORK ABOVE LAUNDRY
 - NEW CASEWORK ON WALL OPPOSITE LAUNDRY EQUIPMENT
 - NEW FLOOR DRAIN IN FRONT OF WASHER
 - NEW CASEWORK IN APPARATUS BAY
 - NEW CASEWORK NEXT TO FRIDGE IN DINING AREA (BELOW WINDOW)

VICINITY MAP



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THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

BID SET	01.06.25
PERMIT SET	12.20.24
ISSUE	DATE

Drawing:
GENERAL PROJECT INFORMATION



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Date: 2025.01.06 16:36:12-0800'

Clackamas Fire District: Station 12

Job Number: #24115

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Oregon City, OR 97045



BUILDING CODE SUMMARY		2022 OREGON STRUCTURAL SPECIALTY CODE			
OCCUPANCY B - FIRE STATION, EXISTING BUILDING WITH NO CHANGE OF OCCUPANCY					
CONSTRUCTION TYPE TYPE V-B, NON-SPRINKLERED					
CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE		CHAPTER 10: MEANS OF EGRESS			
SECTION 420.2	WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, SLEEPING UNITS IN THE SAME BUILDING AND SEPARATING SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 706.	SECTION 1004	OCCUPANT LOAD (OL) 61		
SECTION 420.3	FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND SEPARATING SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.	SECTION 1005.3.1	STAIRWAY EGRESS CAPACITY FACTOR .3		
SECTION 420.4	EXISTING BUILDING DOES NOT HAVE AN AUTOMATIC SPRINKLER SYSTEM. NO CHANGE OF OCCUPANCY IS PROPOSED.	SECTION 1005.3.2	OTHER EGRESS CAPACITY FACTOR .2		
SECTION 420.5	EXISTING BUILDING DOES NOT HAVE A FIRE ALARM SYSTEM. SMOKE DETECTORS WILL BE PROVIDED IN EACH SLEEPING AND LIVING SPACE	TABLE 1006.2.1	SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY MAX OCCUPANT LOAD 49 Occupants MAX COMMON PATH OF EGRESS TRAVEL OL <= 30: 100 FT OL > 30: 75 FT		
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS		TABLE 1006.3.3	MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY OCCUPANT LOAD PER STORY 1-500 MIN NUMBER OF EXITS FOR STORY 2		
TABLE 504.3	ALLOWABLE HEIGHT / STORIES / AREA FACTOR B: 40 FT / 2 STORY / 9000 SF	TABLE 1006.3.4(1)	STORIES WITH ONE EXIT FOR R-2 NOT APPLICABLE		
TABLE 504.4		TABLE 1006.3.4(2)	STORIES WITH ONE EXIT FOR OTHER OCCUPANCIES FIRST STORY ABOVE/BELOW GRADE PLANE 49 / 75 FT SECOND STORY ABOVE GRADE PLANE 29 / 75 FT THIRD STORY AND HIGHER NOT PERMITTED		
TABLE 506.2		SECTION 1009.1	NUMBER OF ACCESSIBLE MEANS OF EGRESS REQUIRED 1		
MODIFICATIONS		SECTION 1009.2.1	ELEVATOR AS ACCESSIBLE MEANS OF EGRESS NOT REQUIRED		
SECTION 506.2.1	BUILDING AREA Aa = A1 + (NS x I) = 9000 SF + (0 SF x 0) = 9000 SF PER STORY	SECTION 1009.3.2	ACCESSIBLE STAIRWAY WIDTH 36" OR PER 1011.2		
SECTION 506.3	FRONTAGE INCREASE 1 LF / 1 LF = 100% FRONTAGE > 20' Width = 20 FT	SECTION 1009.3.3	AREA OF REFUGE NOT REQUIRED		
TABLE 506.3.3	FRONTAGE INCREASE NOT USED	SECTION 1011.2	MINIMUM STAIR WIDTH		
	ACTUAL HEIGHT / STORIES 18' - 0" / 2 STORY	TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE 200 FT		
	LARGEST INDIVIDUAL STORY 3840 SF	TABLE 1020.2	CORRIDOR FIRE-RESISTANCE RATING B = 1 HR		
	ACTUAL BUILDING AREA 5300 SF	TABLE 1020.3	MINIMUM CORRIDOR WIDTH 44 INCHES		
MIXED OCCUPANCY	ACCESSORY N/A	SECTION 1020.5	DEAD ENDS 20 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH		
SECTION 508.2	NON-SEPARATED N/A	CHAPTER 11: ACCESSIBILITY			
SECTION 508.4	SEPARATED N/A	APPLICABLE CODES ANSI ICC A117.1 - 2017			
SECTION 509	INCIDENTAL USE PER TABLE 509.1	CHAPTER 6: TYPES OF CONSTRUCTION			
TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS					
	BUILDING ELEMENT	FIRE RATING *			
	PRIMARY STRUCTURAL FRAME	0 HOUR			
	BEARING WALLS	0 HOUR			
	EXTERIOR	0 HOUR			
	INTERIOR	PER TABLE 705.5			
	NON BEARING WALLS AND PARTITIONS - EXTERIOR	0 HOUR			
	NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HOUR			
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR			
	ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR			
	* NOT LESS THAN FIRE-RESISTANCE RATING REQUIRED BY OTHER SECTIONS OF THIS CODE				
CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES		CHAPTER 29: PLUMBING FIXTURES			
TABLE 705.2	MINIMUM DISTANCE OF PROJECTION PER TABLE 705.2	PLUMBING FIXTURE SUMMARY			
TABLE 705.5	FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	OCCUPANTS			
	FIRE SEPARATION DISTANCE	FIRE RATING			
	X < 5'	1 HOUR			
	5' <= X < 10'	0 HOUR			
	10' <= X < 30'	0 HOUR			
	X >= 30'	0 HOUR			
TABLE 706.4	FIRE WALL FIRE RESISTANCE 0 HOUR	REQUIRED 2 2 1 1 0			
SECTION 708	FIRE PARTITIONS 1 HOUR SLEEPING UNIT SEPARATION	GENDER NEUTRAL FIXTURES PROVIDED 2 2 1 2 0			
SECTION 709	SMOKE BARRIERS NOT REQUIRED	*2 EXISTING UNISEX RESTROOMS WITH 1 WC, 1 LAV, AND 1 SHOWER EACH			
SECTION 711	FLOOR AND ROOF ASSEMBLIES (SUPPORTING CONSTRUCTION PER 711.2.3)				
711.2.4.1	SEPARATING MIXED OCCUPANCIES PER SECTION 508.4				
711.2.4.2	SEPARATING FIRE AREAS NA				
711.2.4.3	DWELLING / SLEEPING UNITS 1 HOUR				
711.2.4.4	SEPARATING SMOKE COMPARTMENTS NA				
711.2.4.5	SEPARATING INCIDENTAL USES NA				
711.2.4.6	OTHER SEPARATIONS NA				
CHAPTER 8: INTERIOR FINISHES		CHAPTER 34: EXISTING BUILDINGS			
TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FLAME SPREAD RATINGS)	SECTION 3403.6 AND ORS 447.241: ACCESSIBILITY FOR EXISTING BUILDINGS			
	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS B	VALUATION OF ALTERATIONS: \$450,000 \$ x .25 = \$112,500			
	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS A	COSTS OF ACCESSIBILITY IMPROVEMENTS NEED NOT EXCEED 25% OF ALTERATIONS PER 3403.6.7.1 EX. 1			
	ROOMS AND ENCLOSED SPACES C				
CHAPTER 9: FIRE PROTECTION SYSTEMS		ELEMENT EXISTING PROPOSED PROJECTED COST			
SECTION 907	SMOKE DETECTORS WILL BE PROVIDED PER 907.2.11.2 - 907.2.11.4	(a) PARKING	NON-COMPLIANT	COMPLIANT	\$3,000
		(b) ENTRANCE	NON-COMPLIANT	COMPLIANT	\$2,000
		(c) ACCESSIBLE ROUTE	NON-COMPLIANT	COMPLIANT	\$20,000
		(d) RESTROOM(S)	NON-COMPLIANT	COMPLIANT	\$30,000
		(e) TELEPHONES	N/A	N/A	\$
		(f) DRINKING FOUNTAINS	N/A	N/A	\$
		(g) STAIR TO SECOND FLOOR	NON-COMPLIANT	COMPLIANT	\$15,000
		TOTAL COST OF ACCESSIBILITY IMPROVEMENTS:			\$70,000

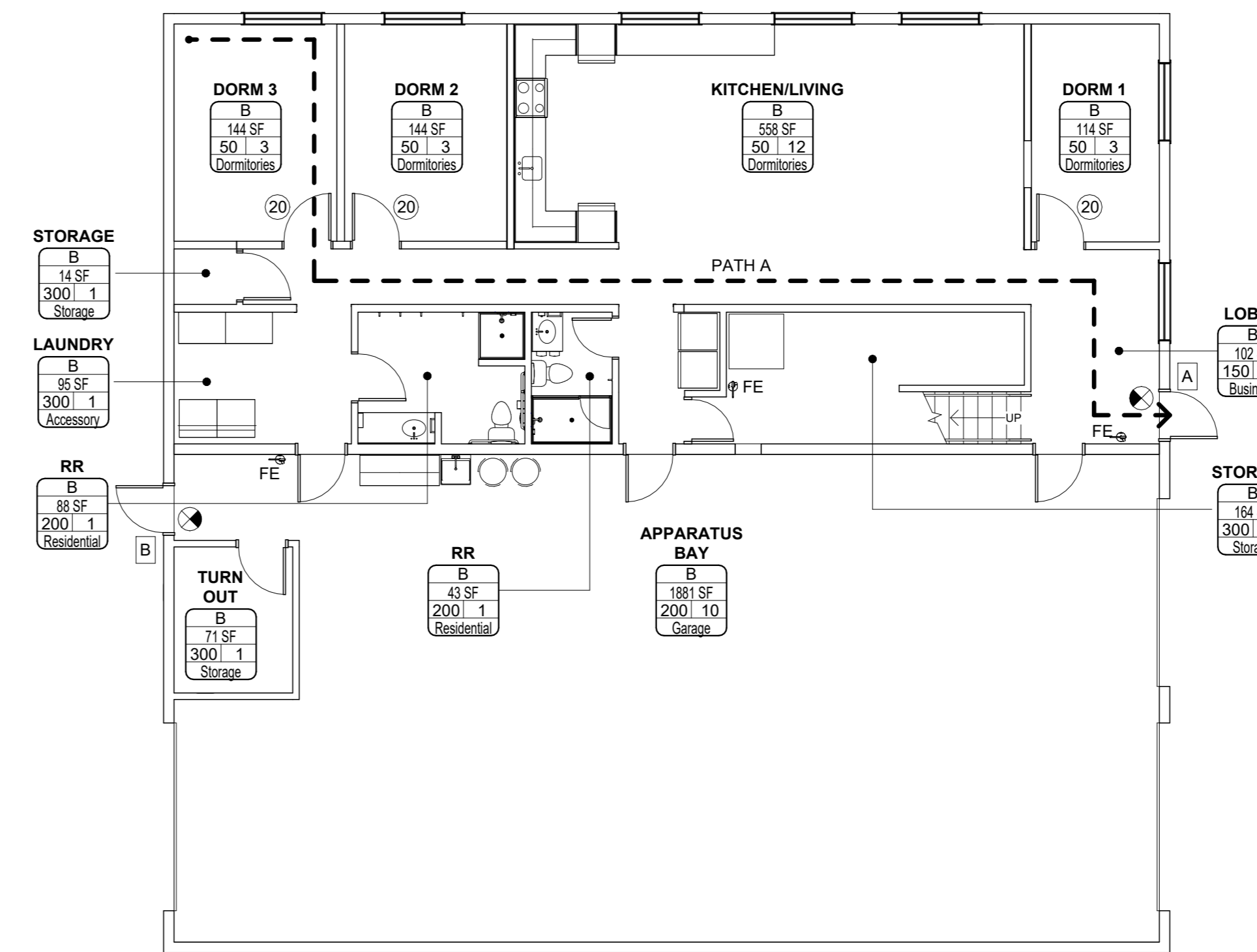
AREA NAME	AREA (SF)	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
FIRST FLOOR				
APPARATUS BAY	1881 SF	Garage	200	10
DORM 1	114 SF	Dormitories	50	3
DORM 2	144 SF	Dormitories	50	3
DORM 3	144 SF*	Dormitories	50	3
KITCHEN/LIVING	558 SF	Dormitories	50	12
LAUNDRY	95 SF	Accessory	300	1
LOBBY	102 SF	Business	150	1
OFFICE SUITE EXAMPLE	395 SF	Business	100	4
RR	43 SF	Residential	200	1
RR	88 SF	Residential	200	1
STORAGE	164 SF	Storage	300	1
STORAGE	14 SF	Storage	300	1
TURN OUT	71 SF	Storage	300	1
SECOND FLOOR				
FITNESS	687 SF	Exercise	50	14
LOUNGE	679 SF	Business	150	5
				19
TOTAL OCCUPANT LOAD				61*

*THOUGH THE OCCUPANT LOAD SCHEDULE CITES 61 TOTAL OCCUPANTS IT WAS NOTED BY CLACKAMAS FIRE DISTRICT THAT THERE WILL BE 2 FIRE FIGHTERS OCCUPYING THE STATION AT A GIVEN TIME DURING A SHIFT CYCLE WHEN FULLY OPERATIONAL. THERE IS A THIRD 'FUTURE DORM' INCLUDED IN THIS RENOVATION SO THE ACTUAL NUMBER OF OCCUPANTS IS 3 MAXIMUM DURING A SHIFT.

*303.1.2 SMALL ASSEMBLY SPACES ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

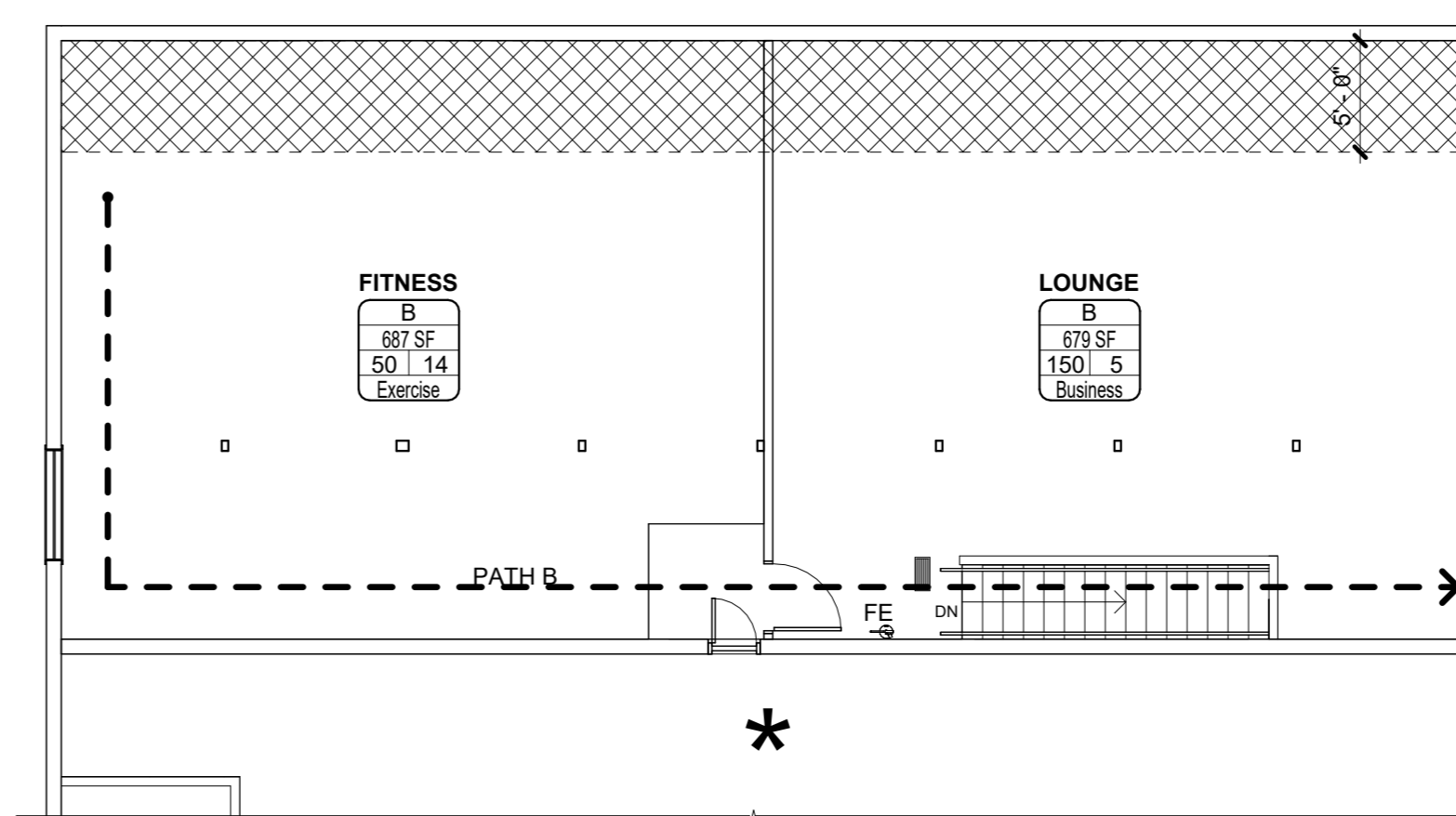
EXIT #	OCCUPANT LOAD	REQUIRED CLEAR WIDTH (*.2)	REQUIRED CLEAR WIDTH (*.15)	DOOR WIDTH	CLEAR WIDTH PROVIDED
A				36"	32"
B				36"	32"

EGRESS PATH NAME	EGRESS PATH LENGTH
PATH A	86' - 7"
PATH B	78' - 0"



1 FIRST FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"

	1 HOUR FIRE PARTITION
WALL RATINGS TO CONTINUE ABOVE / BELOW ALL DOORS, RELITES, ETC.	
AREA NAME	
NAME	OCCUPANCY (CH. 3)
Occ Grp	AREA (SF)
OL/F #	OCCUPANT LOAD FACTOR / NUMBER OF OCCUPANTS
Function	FUNCTION (CH. 10)
*	UNOCCUPIED AREA OCCUPANT LOAD NOT INCLUDED IN BUILDING TOTALS
	EXIT SIGN SHADE INDICATES ILLUMINATED FACE. CHEVRON INDICATES DIRECTION TO EXIT
	EXIT ACCESS PATH
	EXIT EXIT ACCESS DOOR
	DOOR RATING (IN MINUTES)
	FIRE EXTINGUISHER (FE) LOCATION - ALL ARE EXISTING - NONE PROPOSED. VERIFY EXACT LOCATIONS AND QUANTITY WITH FIRE DEPARTMENT.
	NOT CALCULATED AS OCCUPIABLE SPACE (SEE PHOTO BELOW)



2 SECOND FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"



BID SET 01.06.25
PERMIT SET 12.20.24
ISSUE DATE

Drawing:

CODE SUMMARY & FIRE LIFE SAFETY

Sheet No:

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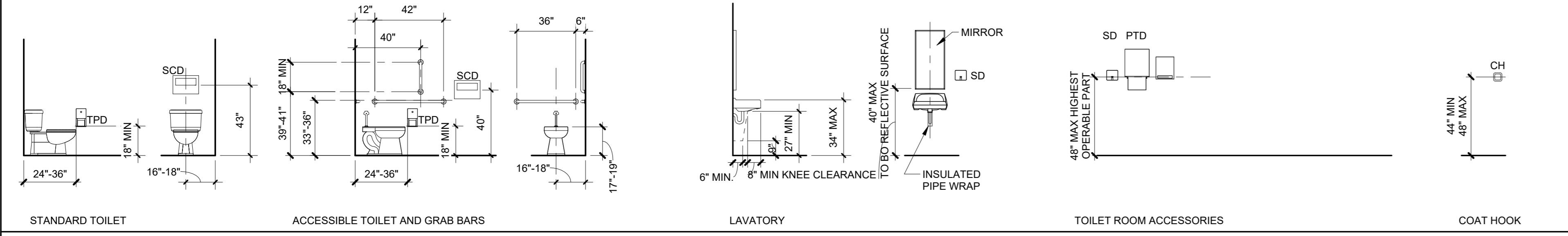
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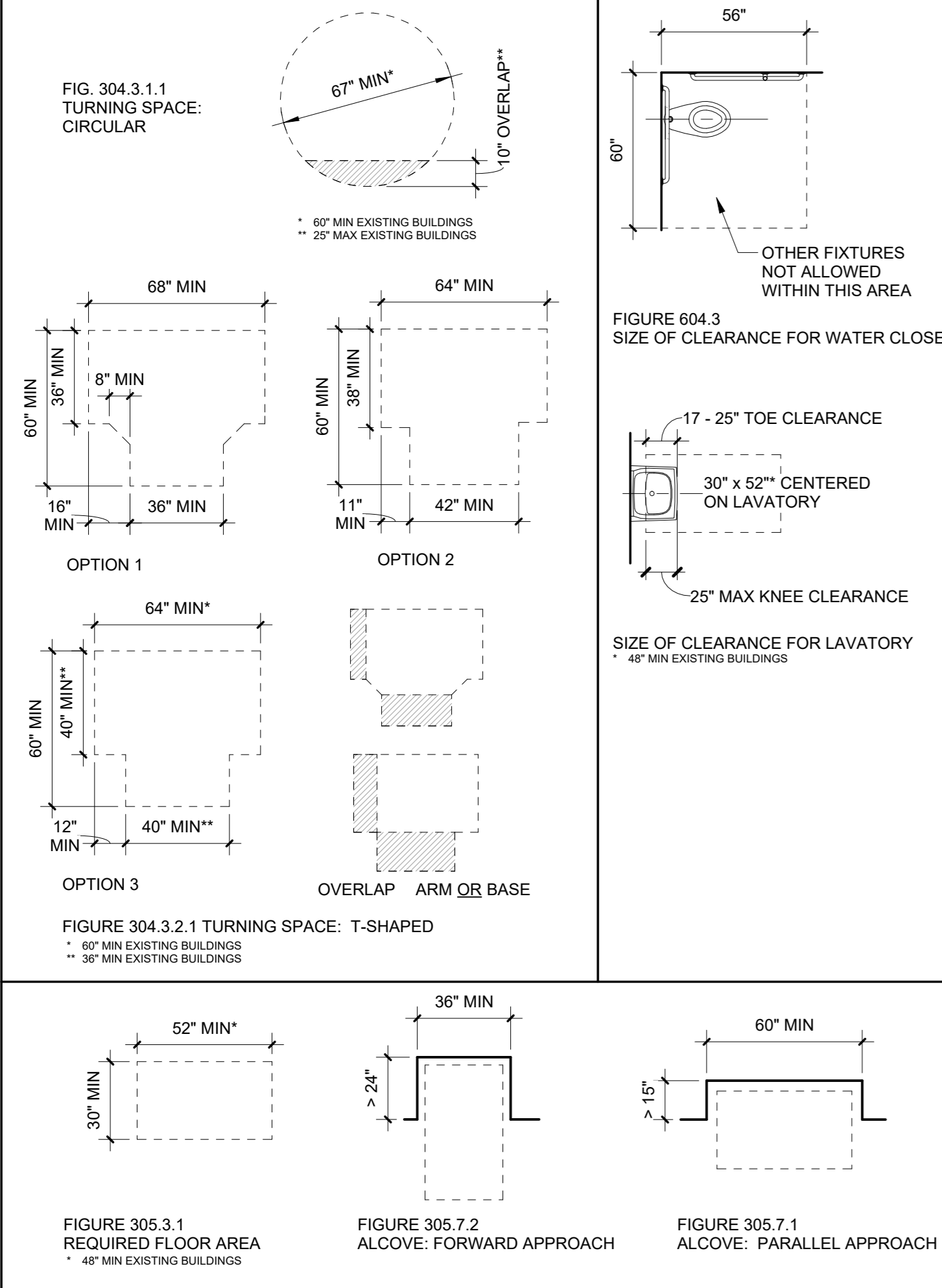
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STANDARD MOUNTING HEIGHTS AND CLEARANCE REQUIREMENTS

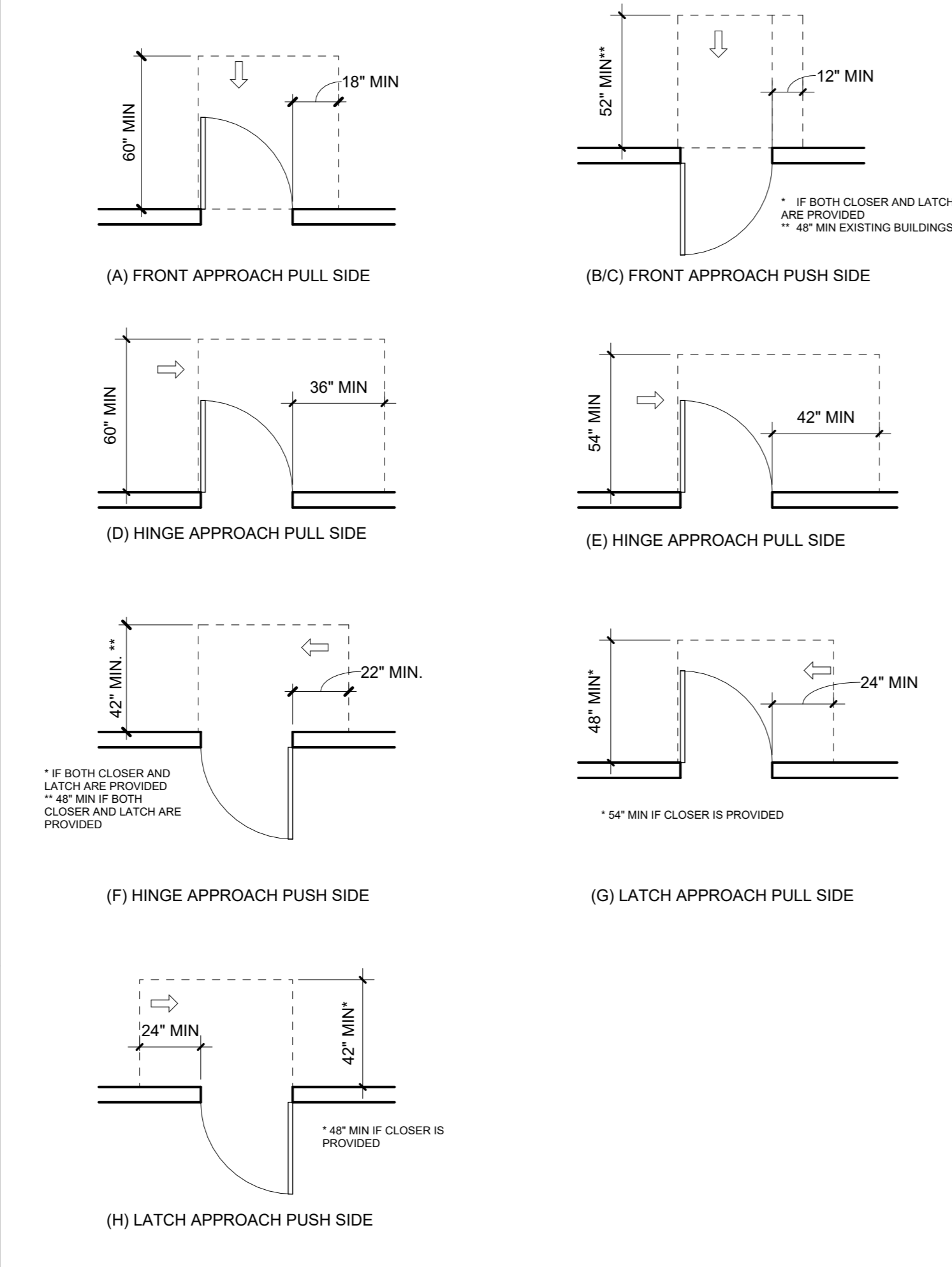
PER ICC A117.1-2017
DIMENSIONS ARE FROM FACE OF FINISH AND/OR CENTERLINE OF FIXTURE OR ACCESSORY



REQUIRED CLEAR FLOOR AREAS



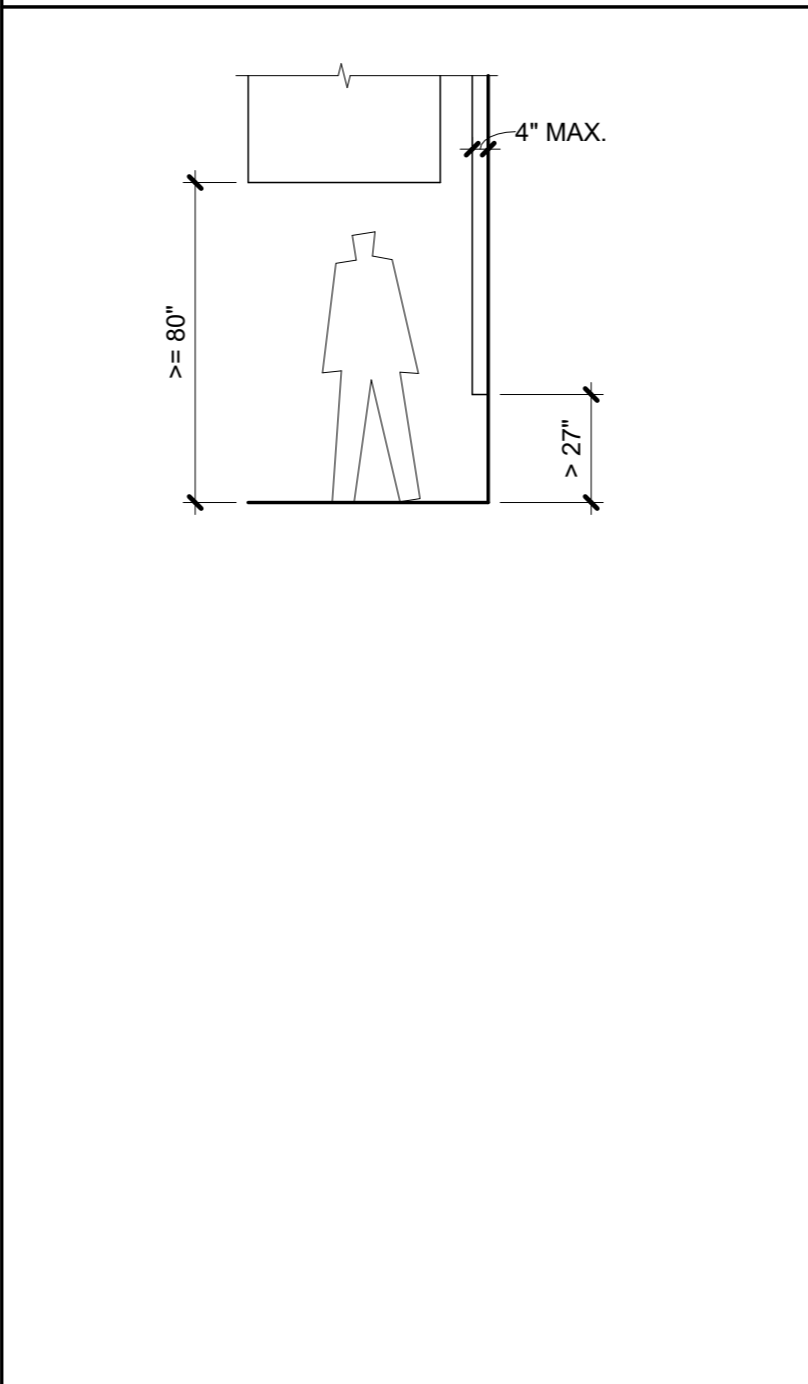
MANEUVERING CLEARANCES AT MANUAL SWING DOORS



ACCESSIBILITY NOTES

- VERIFY ALL ACCESSIBILITY REQUIREMENTS WITH CURRENT CODE AND LOCAL JURISDICTION.
- DIAGRAMS ARE INCLUDED AS A CONVENIENCE ONLY AND ARE NOT ALL INCLUSIVE. REFERENCE CURRENT CODE AND PROJECT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN HERE AND PROPOSED WORK.

PROTRUDING OBJECTS

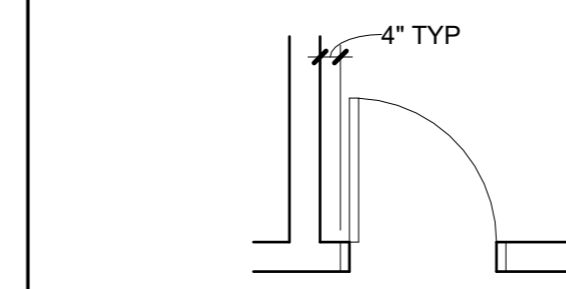


ABBREVIATIONS

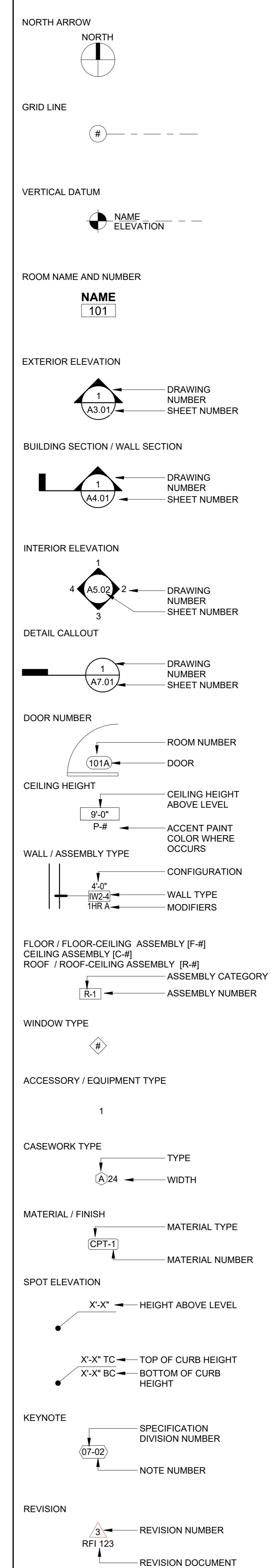
#	POUND OR NUMBER	GA	GAUGE	R	RADIUS OR RISER
@	AT	GALV	GALVANIZED	RA	RETURN AIR
CL	CENTERLINE	GC	GENERAL CONTRACTOR	RB	RESILIENT BASE
L	ANGLE	GI	GALVANIZED IRON	RD	ROOF DRAIN
Ø	DIAMETER OR ROUND	GL	GLULAM	REC	RECOMMENDATION
AB	ANCHOR BOLT	GND	GROUND	REF	REFERENCE
AC	ASPHALTIC CONCRETE	GR	GRADE	REFR	REFRIGERATOR
ACT	ACOUSTIC CEILING TILE	GWB	GYPSON BOARD	REINF	REINFORCEMENT
AD	AREA DRAIN	GYP	GYPSONUM	REQD	REQUIRED
ADJ	ADJUSTABLE	GYP BD	GYPSONUM BOARD	RESIL	RESILIENT
AF	ABOVE FINISH FLOOR	HB	HOSE BIB	REV	REVISIONS
AFG	ABOVE FINISH GRADE	HC	HOLLOW CORE	RH	RESILIENT FLOOR
ALT	ALTERNATE	HDR	HEADER	RM	RIGHT HAND
ALUM	ALUMINUM	HDWD	HARDWOOD	RO	ROUGH OPENING
ANOD	ANODIZED	HDWR	HARDWARE	ROW	RIGHT OF WAY
APPROX	APPROXIMATE / APPROXIMATELY	HM	HOLLOW METAL	RWL	RAIN WATER LEADER
ARCH	ARCHITECTURAL / ARCHITECT	HNDCP	HANDICAP	S	SOUTH
ASPH	ASPHALT	HORIZ	HORIZONTAL	SA	SUPPLY AIR
BC	BOTTOM OF CURB BOARD	HP	HORSE POWER	SAI	SELF ADHERED MEMBRANE
BD	BITUMINOUS	HFL	HIGH PRESSURE LAMINATE	SC	SOLID CORE
BLDG	BUILDING	HR	HOUR	SCHED	SCHEDULE
BLK	BLOCK	HSS	HOLLOW STRUCTURAL STEEL	SEC	SECTION
BLKG	BLOCKING	HT	HEIGHT	SF	SQUARE FOOT
BLW	BELOW	HVAC	HEATING VENTILATING AIR CONDITIONING	SHT	SHEET
BO	BOTTOM OF	HW	HOT WATER	SHTG	SHEATHING
BOT	BOTTOM	ID	INSIDE DIAMETER	SHWR	SHOWER
BRG	BEARING	IE	INVERT ELEVATION	SIM	SIMILAR
BTWN	BETWEEN	IN	INCHES	SM	SHEET METAL
BUR	BUILT UP ROOF	INSUL	INSULATION	SP	SOLID PIPE
		INT	INTERIOR	SPEC	SPECIFICATIONS
		INT	INTERIOR	SPK	SPEAKER
		ISQ	SQUARE	SS	STAINLESS STEEL
CAB	CABINET	JB	JUNCTION BOX	SSK	SERVICE SINK
CB	CATCH BASIN	JH	JOIST HANGER	SSM	SOLID SURFACE MATERIAL
CFM	CUBIC FEET PER MINUTE	JST	JOIST	STN	STATION
CI	CAST IRON	JT	JOINT	STD	STANDARD
CIP	CAST IN PLACE	KD	KILN DRIED	STL	STEEL
CJ	CONTROL JOINT	KT	KITCHEN	STN	STAIN
CL	CENTERLINE	KW	KILOWATT	STR	STRUCTURAL
CLG	CEILING	LAM	LAMINATED	STRUCT	STRUCTURAL
CLR	CLEAR	LAV	LAVATORY	SUSP	SUSPENDED
CMU	CAST IN PLACE CONCRETE MASONRY UNIT	LB	LEADER BOX	SYM	SYMMETRICAL
CO	CLEAN OUT	LH	LEFT HAND		
CO	CLEAN OUT	LKR	LOCKER	T	TREAD OR TILE
COL	COLUMN	LK	LIGHT	T&G	TONGUE AND GROOVE
CONC	CONCRETE	LTR	LIGHT TROUGH	TM	TO MATCH
CONN	CONNECTION	LT	TOP OF CURB	TC	TOP OF CURB
CONT	CONTINUOUS	LTWT	LIGHTWEIGHT	TEL	TELEPHONE </td
CPT	CARPET	MAT	MATERIAL	TEMP	TEMPERATURE
CSMT	CASEMENT	MAX	MAXIMUM	TER	TERRAZZO
CT	CERAMIC TILE	MB	MACHINE BOLT	THK	THICK / THICKNESS
CTSK	COUNTERSUNK	MC	MEDICINE CABINET	TJ	TOOL JOINT
CW	COLD WATER	MECH	MECHANICAL	TLT	TOILET
CWD	CLAD WOOD	MFR	MANUFACTURER	TO	TOP OF
		MH	MANHOLE	TOC	TOP OF CONCRETE
DBL	DOUBLE	MIN	MINIMUM	TOP	TOP
DEG	DEGREE	MIR	MIRROR	TOS	TOP OF STEEL
DEPT	DEPARTMENT	MISC	MISCELLANEOUS	TOSF	TOP OF SUB-FLOOR
DET	DETAIL	MO	MASONRY OPENING	TOW	TOP OF WALL
DF	DOUGLAS FIR	MRGWB	MOISTURE RESISTANT GWB	TP	TOP
DH	DOUBLE HANG	MTD	MOUNTED	TS	TUBE STEEL
DIA	DIAMETER	MTL	METAL	TV	TELEVISION
DIAG	DIAGONAL	MULL	MULLION	TYP	TYPICAL
DIM	DIMENSION			UL	UNDERWRITER'S LABORATORY
DISP	GARBAGE DISPOSAL	(N)	NEW	UNF	UNFINISHED
DN	DOWN	N	NORTH	UNO	UNLESS NOTED OTHERWISE
DO	DOOR OPENING	NIC	NOT IN CONTRACT	UR	URINAL
DP	DAMP PROOF	NO	NUMBER		
DR	DOOR	NOM	NOMINAL	VB	VAPOR BARRIER
DS	DOWNSPOUT	NTS	NOT TO SCALE	VCT	VINYL COMPOSITION TILE
DSP	DRY STANDPIPE	OBS	OBSOLETE	VERT	VERTICAL
DTL	DETAIL	OC	ON CENTER	VFY	VERIFY
DW	DISHWASHER	OD	OUTSIDE DIAMETER	VG	VERTICAL GRAIN
DWG	DRAWING	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	VIF	VERIFY IN FIELD
DWR	DRAWER	OFOI	OWNER FURNISHED OWNER INSTALLED	VP	VENT PIPE
		OPNG	OPENING	VR	VAPOR RETARDER
(E)	EXISTING	OPP	OPPOSITE	W	WEST
E	EAST	OTS	OPEN TO STRUCTURE	W	WATT
EA	EACH	P	PANTRY	W	WITH
EJ	EXPANSION JOINT	PC	PRECAST	W/O	WITHOUT
ELEC	ELECTRICAL	PIP	POURED IN PLACE	WC	WATER CLOSET
ELEV	ELEVATION	PL	PLATE OR PROPERTY LINE	WD	WOOD
EMER	EMERGENCY	PLAS	PLASTIC LAMINATE	WDW	WINDOW
ENCL	ENCLOSURE	PLM	PLASTIC	WF	WIDE FLANGE
EQ	EQUAL	PLAS	PLASTIC	WI	WROUGHT IRON
EQUIP	EQUIPMENT	PLYWD	PLYWOOD	WO	WHERE OCCURS
EXIST	EXISTING	PNT	PAINT	WP	WATERPROOF
EXP	EXPOSED	PSF	POUNDS PER SQUARE FOOT	WR	WATER RESISTANT
EXT	EXTERIOR	PSI	POUNDS PER SQUARE INCH	WRB	WATER RESISTANT BARRIER
FA	FIRE ALARM	PT	PRESSURE TREATED	WSCOT	WAINSCOT
FC	FIBER CEMENT	PTD	PAINTED	WT	WEIGHT
FD	FLOOR DRAIN	PVC	POLYVINYL CHLORIDE	WWF	WELDED WIRE FABRIC
FDN	FOUNDATION	QT	QUARRY TILE		
FE	FIRE EXTINGUISHER				
FEC	FIRE EXTINGUISHER CABINET				
FG	FIBERGLASS				
FIN	FINISH				
FLASH	FLASHING				
FLR	FLOOR				
FLUOR	FLUORESCENT				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOS	FACE OF STUD				
FRP	FIBERGLASS REINFORCED PLASTIC				
FRT	FIRE RETARDANT TREATED				
FRZ	FREEZER				
FT	FOOT / FEET				
FTG	FOOTING				
FURR	FURRING				
FUT	FUTURE				

DIMENSIONS

- DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE NECESSARY.
- IN MANY INSTANCES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUALLY SPACED OR ALIGNED. IN THESE CASES, THE NOTATION "EQ" OR "ALIGN" IS USED IN LIEU OF A DIMENSION.
- DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE INDICATED DIMENSION POINTS.
- DIMENSIONS SHOWN ARE TO GRIDLINE, CENTERLINE OF COLUMN, OR FACE OF STUD / MASONRY, UNLESS NOTED OTHERWISE.
- INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE OF WALL.
- DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN ON PLANS OR LOCATED 4" FROM FACE OF STUD TO OPENING.



GRAPHIC SYMBOLS

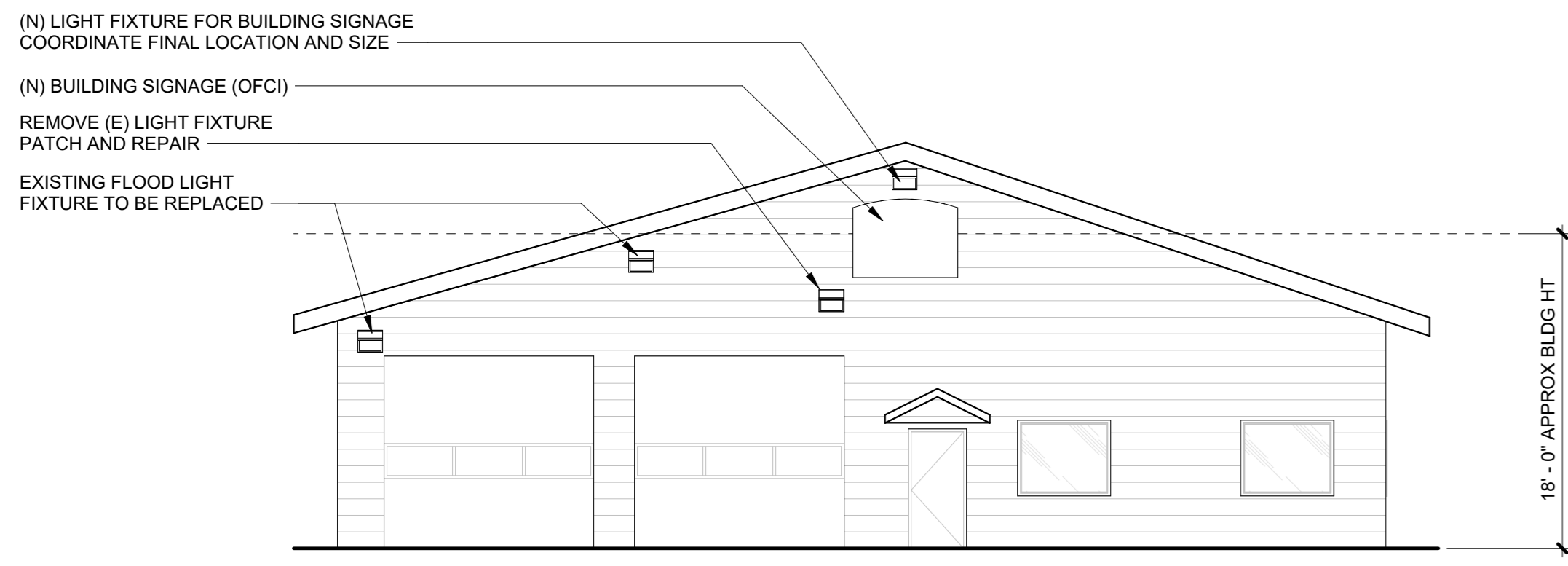


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Clackamas Fire District: Station 12
Job Number: #24115
18081 S Harding Rd Oregon City, OR 97045

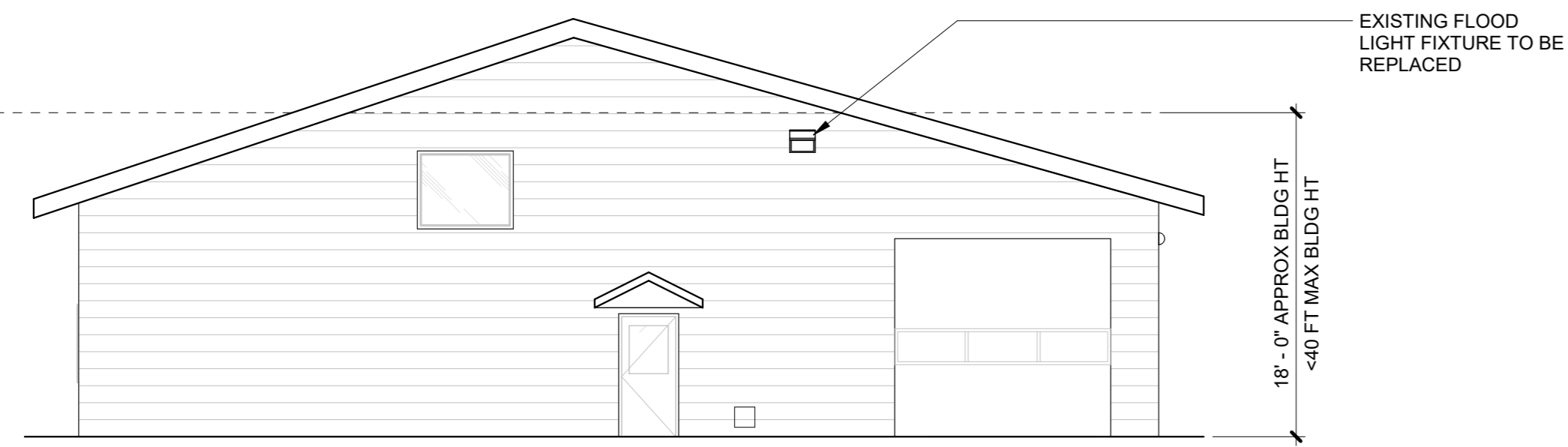


BID SET 01.06.25
PERMIT SET 12.20.24
ISSUE DATE
Drawing:
ARCHITECTURAL GENERAL NOTES AND DIAGRAMS

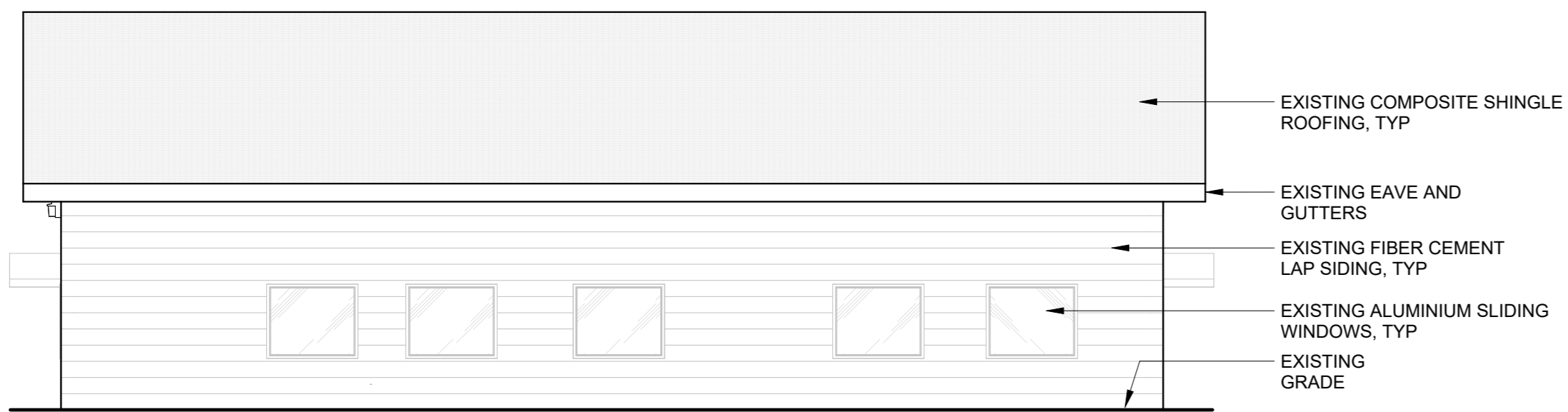
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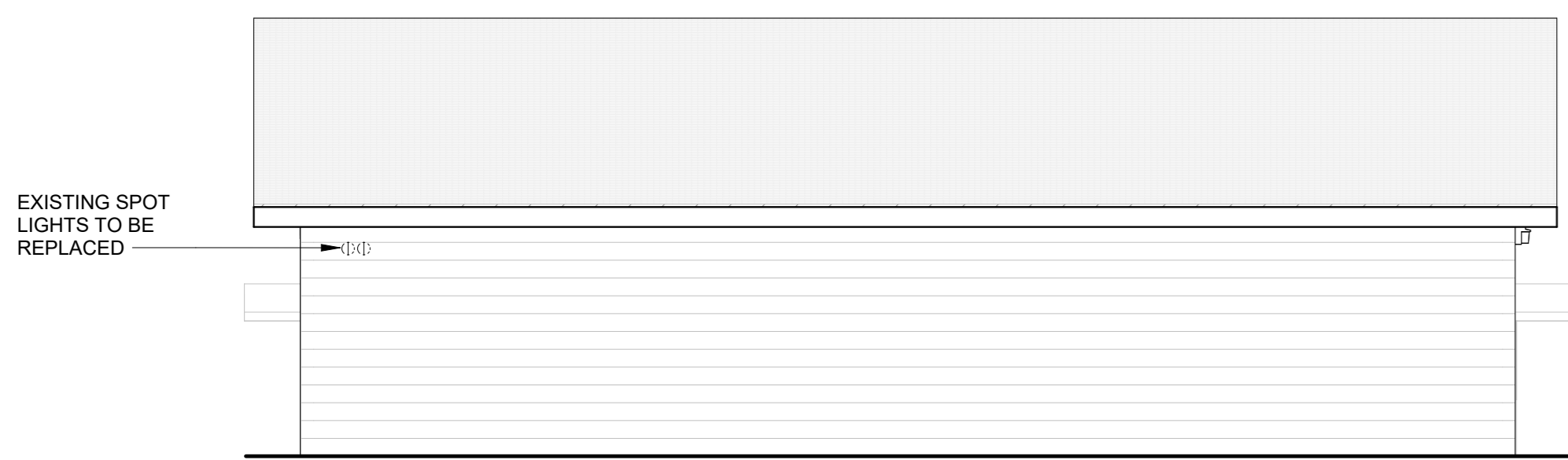
2 EXISTING EAST ELEVATION
1/8" = 1'-0"



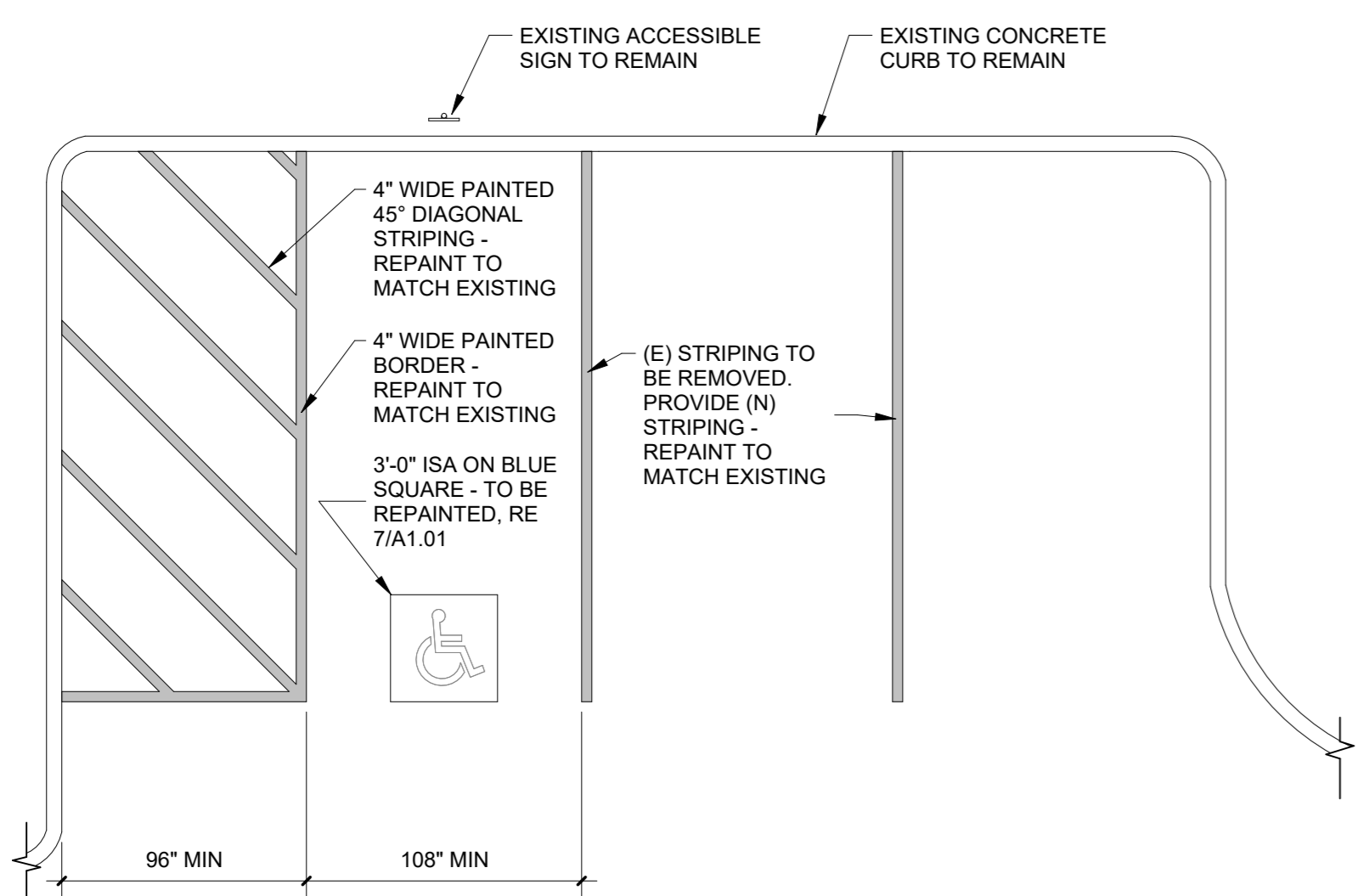
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1/8" = 1'-0"



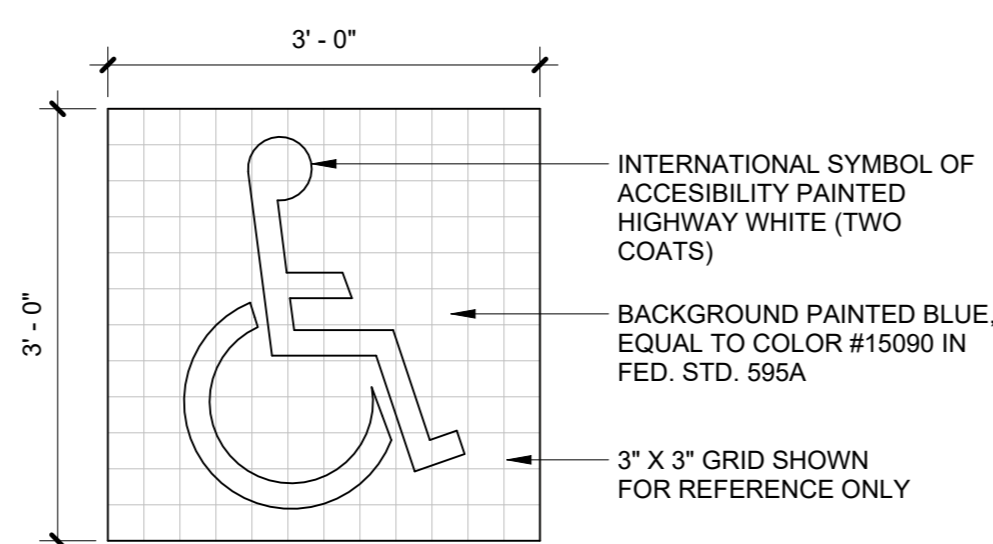
4 EXISTING NORTH ELEVATION
1/8" = 1'-0"



5 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



6 ACCESSIBLE PARKING
3/16" = 1'-0"

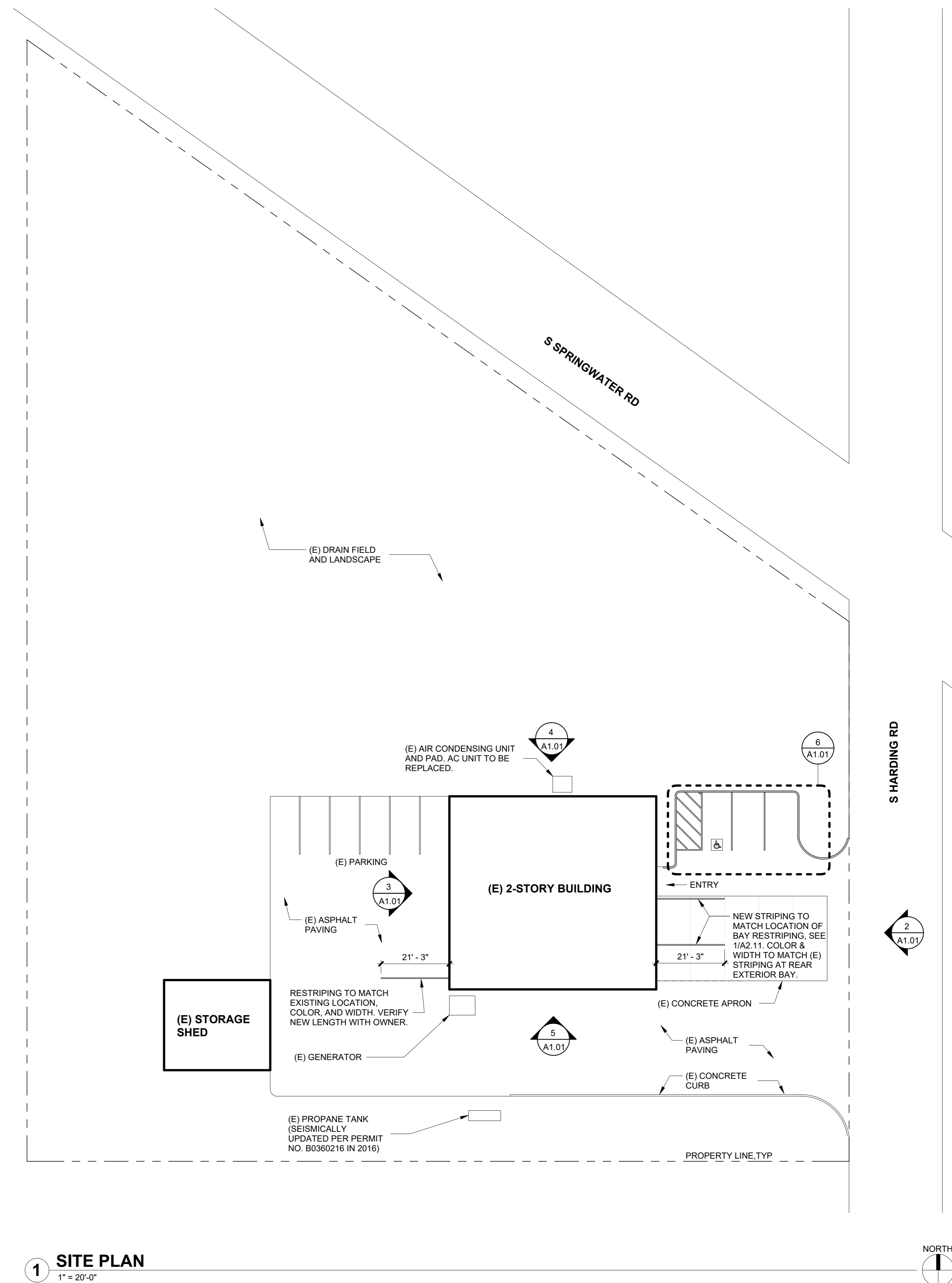


7 ACCESSIBLE PAVEMENT SIGN
3/4" = 1'-0"

GENERAL SHEET NOTES
A. ALL SITE WORK IS EXISTING TO REMAIN. PATCH,
REPAIR AND PAINT AS INDICATED.



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1 SITE PLAN
1" = 20'-0"

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Drawing:
**SITE PLAN/
EXTERIOR
ELEVATIONS**

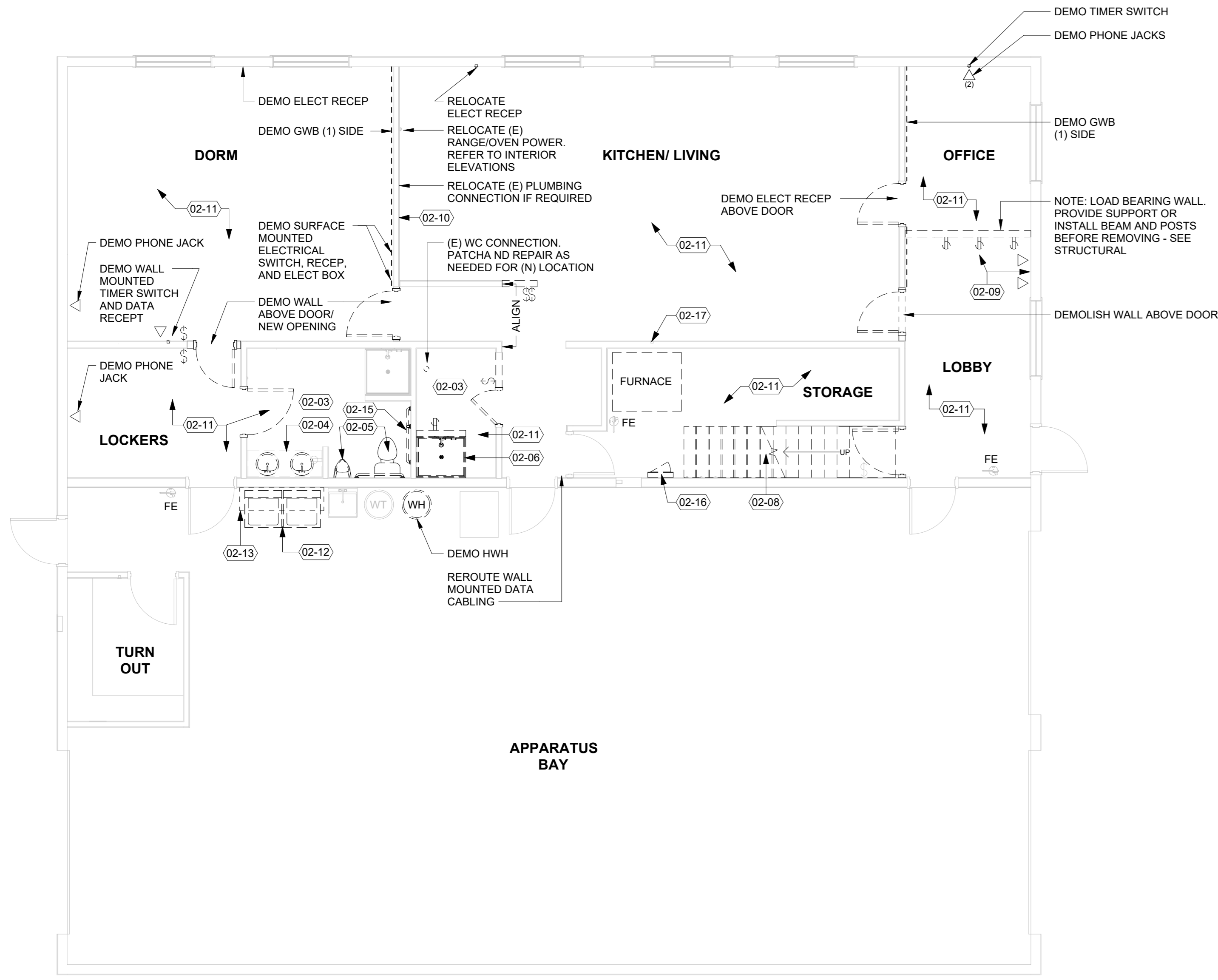
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WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



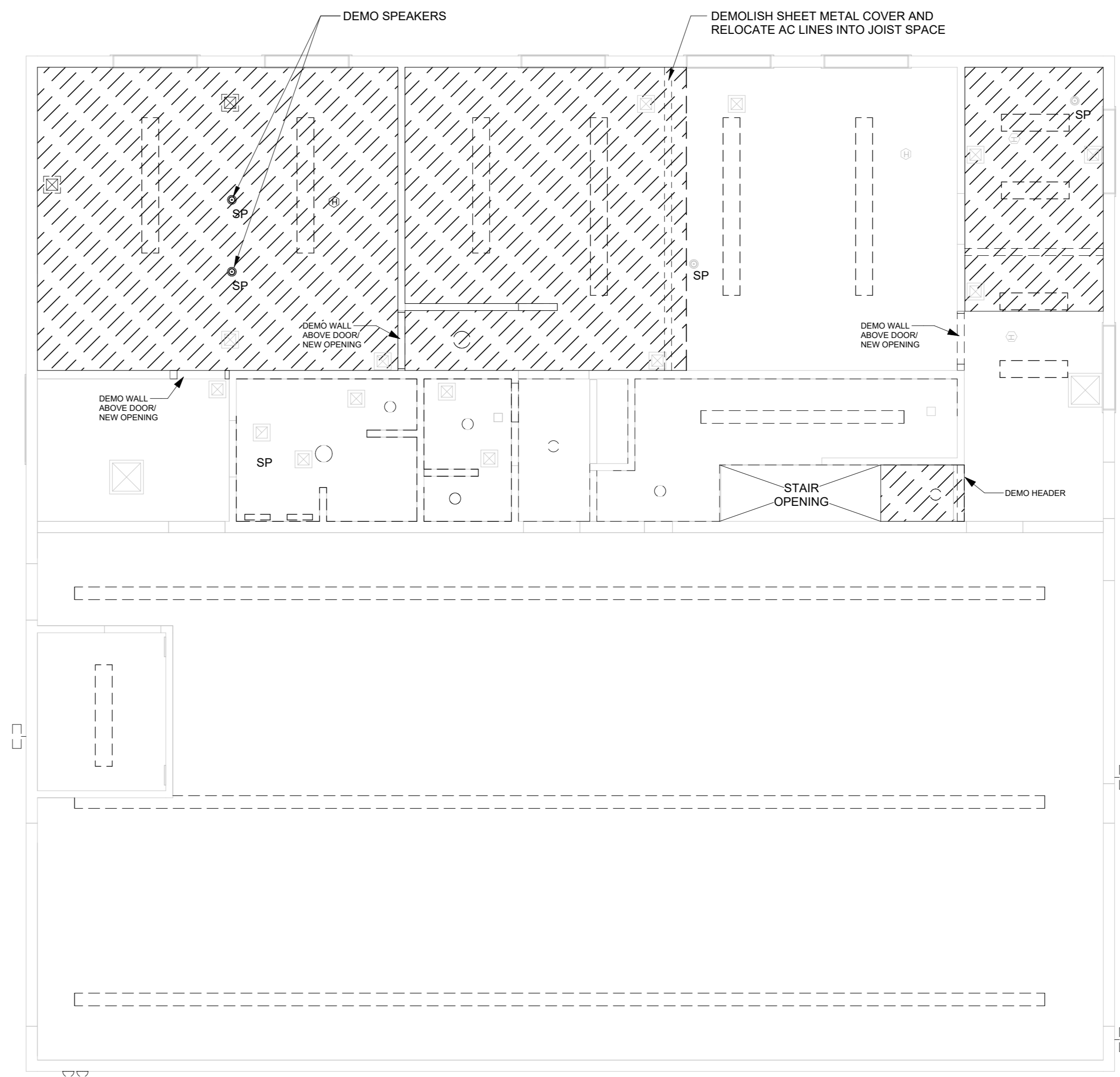
Clackamas Fire District:
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Oregon City, OR 97045



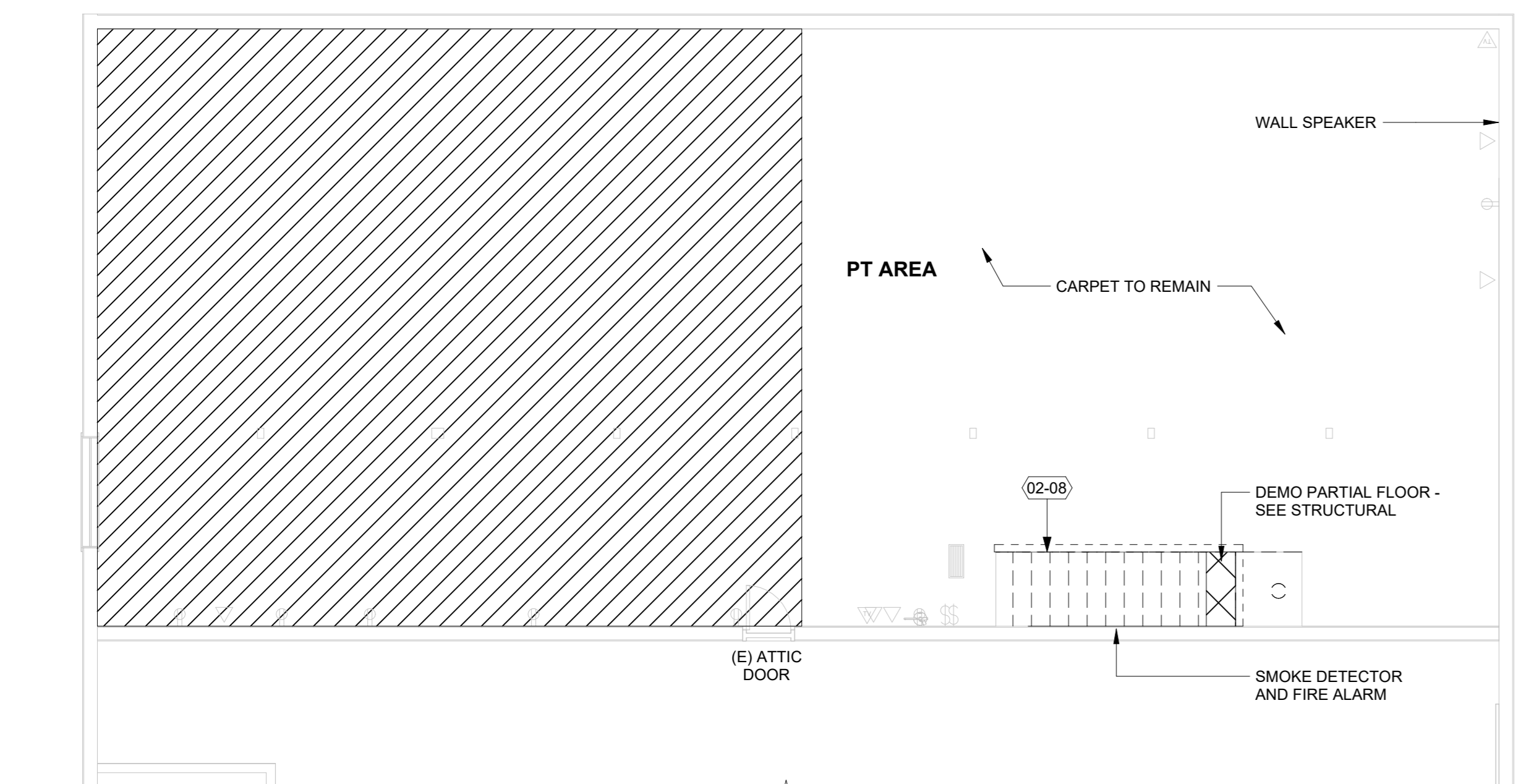
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NORTH
1 DEMOLITION PLAN - FIRST FLOOR
3/16" = 1'-0"



NORTH
3 DEMOLITION REFLECTED CEILING PLAN - FIRST FLOOR
3/16" = 1'-0"



NORTH
2 DEMOLITION PLAN - SECOND FLOOR
3/16" = 1'-0"



NORTH
4 DEMOLITION REFLECTED CEILING PLAN - SECOND FLOOR
3/16" = 1'-0"

DEMOLITION PLAN SHEET NOTES

- A. COMPLY WITH ALL APPLICABLE LOCAL CODES AND ORDINANCES CONCERNING DEMOLITION OPERATIONS, RECYCLING, AND RESTRICTIVE REMOVAL.
- B. LIMITS OF DEMOLITION SHOWN IS FOR GENERAL GUIDANCE ONLY. CONTRACTOR SHALL ASCERTAIN THE FULL EXTENT OF DEMOLITION REQUIRED TO ACCOMMODATE THE NEW WORK AND PRODUCE A CONSISTENT APPEARANCE.
- C. PROVIDE TEMPORARY EXITING AS REQUIRED AND APPROVED BY LOCAL FIRE MARSHALL.
- D. COORDINATE ALL DEMOLITION AND SALVAGE WITH OWNER. OWNER TO COORDINATE REMOVAL OF EXISTING FURNISHINGS, FIXTURES AND EQUIPMENT UNLESS NOTED OTHERWISE.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING OF EXISTING STRUCTURE AS REQUIRED.
- F. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.
- G. EXISTING SANITARY CONNECTION WILL NEED TO BE INFILLED AND SLAB CUT/CORED FOR NEW CONNECTION.
- H. REFER TO KEYNOTE 02-11; REMOVE FLOORING, BACKING, ADHESIVE, ETC DOWN TO CONCRETE AND/OR FLOOR SHEATHING IN PREPARATION FOR NEW FLOORING AND/OR CONCRETE SEALING.
- I. DEMOLISH ALL WALL BASE THROUGHOUT AND PREP FOR NEW WALL BASE.
- J. DEMOLISH CEILING TEXTURE AT LOBBY, OFFICES, DORM, KITCHEN/LIVING, STORAGE, LOCKERS, TOILET ROOMS, PT AREA, APPARATUS BAY.

DEMOLITION FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- DEMOLISH ITEM
- DEMOLISH DOOR AND FRAME
- DEMOLISH CARPET FLOORING
- SWITCH SINGLE
- SWITCH DOUBLE
- SINGLE DATA OUTLET

DEMOLITION RCP LEGEND

- DEMO GYPSUM CEILING
- EXHAUST CEILING FAN
- SPEAKER
- DEMO LIGHT FIXTURE
- DEMO LIGHT FIXTURE

KEYNOTES

- 02-03 DEMOLISH TOILET ROOM ACCESSORIES AND WALL COVERING
- 02-04 DEMOLISH SINK AND COUNTER. COORDINATE EXTENTS OF PLUMBING PIPING DEMOLITION WITH NEW WORK.
- 02-05 DEMOLISH URINAL AND TOILET. COORDINATE EXTENTS OF PLUMBING PIPING DEMOLITION WITH NEW WORK.
- 02-06 DEMOLISH SHOWER AND GWB FOR NEW SHOWER AND PLUMBING. COORDINATE EXTENTS OF PLUMBING PIPING DEMOLITION WITH NEW WORK.
- 02-08 DEMOLISH STAIR, RAILINGS AND SUPPORTING STRUCTURE.
- 02-09 DEMOLISH ALL SHELVING, CASEWORK, CHAIR RAIL, CONDUIT AND WALL FINISHES. PREPARE FOR NEW FINISHES.
- 02-10 DEMOLISH ALL EXISTING FLOORING AT CONCRETE SLAB AND PREPARE FOR GRINDING.
- 02-12 SALVAGE WASHER/DRYER AND ASSOCIATED PLUMBING. TO BE RELOCATED. RETURN WASHER/DRYER TO OWNER.
- 02-13 DEMOLISH CASEWORK.
- 02-15 SALVAGE GRAB BARS
- 02-16 SALVAGE TELECOM EQUIPMENT
- 02-17 SALVAGE AVIDS TV & WALL BRACKET

BID SET 01.06.25
PERMIT SET 12.20.24
ISSUE DATE
Drawing: DEMOLITION PLANS

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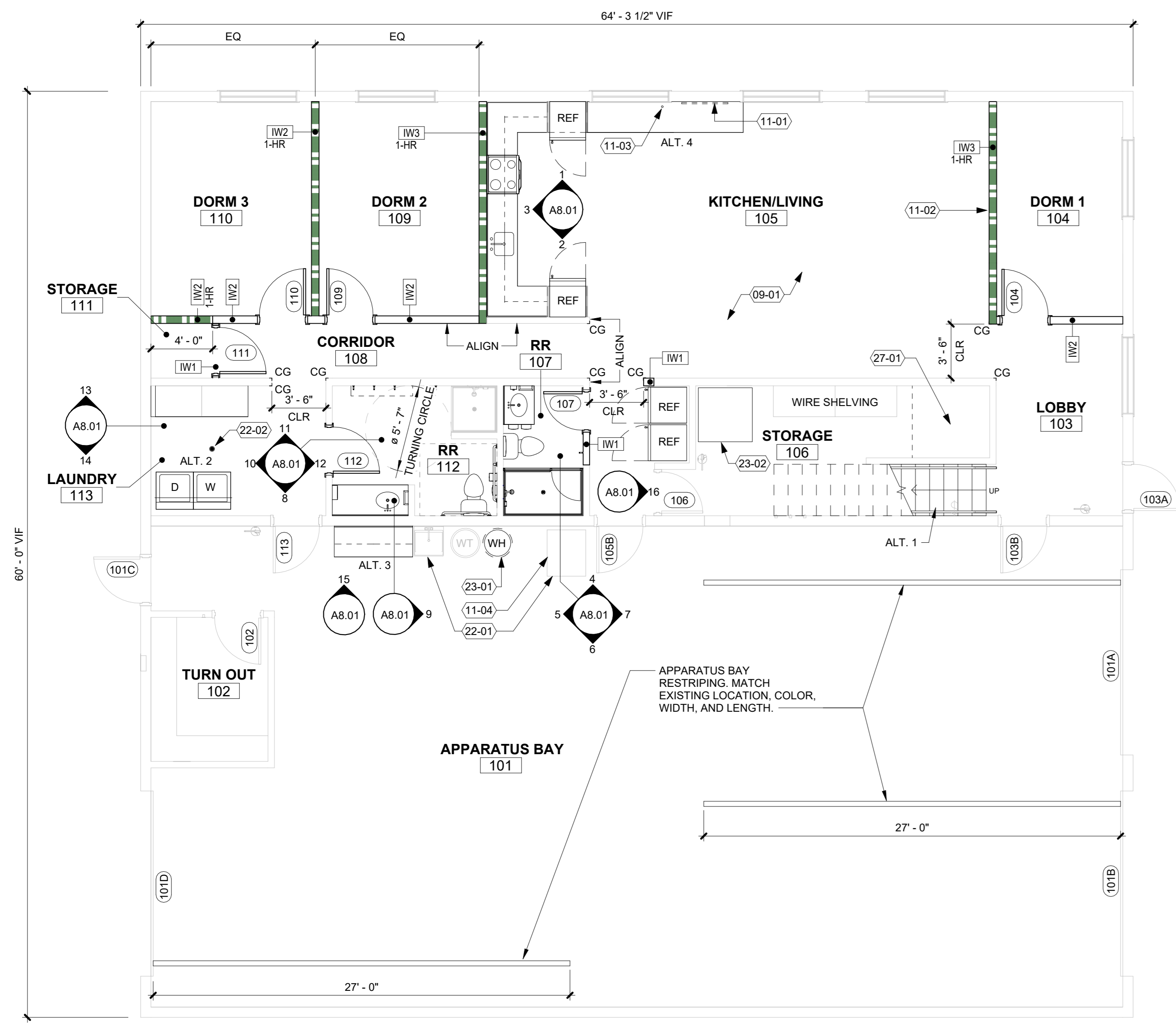


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Station 12
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1 FIRST FLOOR PLAN
3/16" = 1'-0"



3 FIRST FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"

GENERAL SHEET NOTES

- PROVIDE BLOCKING FOR ALL CASEWORK AND EQUIPMENT.
- BATHROOMS TO HAVE EPOXY FLOORING FINISH OVER GROUND CONCRETE.
- SEE FINISH SCHEDULE, INTERIOR ELEVATIONS, AND DETAILS FOR SPECIAL CONDITIONS AND APPLIED WALL FINISHES.
- MAINTAIN FIRE RATING OF WALLS AROUND RECESSED ITEMS.
- PROVIDE ACOUSTICAL SEALANT AT FLOOR / CEILING WALL TRANSITIONS, RECESSED BOXES, AND PENETRATIONS OF SOUND RATED ASSEMBLIES AND OTHER CONSTRUCTION AS REQUIRED TO ACHIEVE NOTED STC RATINGS.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL RESTROOM AND KITCHEN WALLS TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
- WHERE PARTITIONS ARE SOUND RATED OR FIRE RATED AND INCLUDE PROPRIETARY MANUFACTURERS, NO SUBSTITUTIONS ARE ALLOWED.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- PROVIDE BLACKOUT BLINDS AT DORM ROOMS AND KITCHEN / LIVING ROOM WINDOWS.
- CONTRACTOR TO SCOPE EXISTING SANITARY SEWER PIPING SYSTEM AND AS-BUILT EXISTING LOCATIONS AND INVERTS FOR NEW PLUMBING FIXTURE CONNECTIONS.

FLOOR PLAN LEGEND

- EXISTING TO REMAIN 2X WD FRAMING
- NEW CONSTRUCTION
- NEW 1 HOUR FIRE RATED PARTITION WALL
- RUBBER FLOORING RF-1
- FINISHED FLOOR TRANSITION
- CORNER GUARD. SEE PLAN FOR LOCATIONS.

RCP SHEET NOTES

- REMOVE ALL CEILING TEXTURE EXCEPT AT THE APPARATUS BAY, TURN OUT ROOM AND STORAGE ROOM (AT THE STAIR).
- CENTER LIGHTS IN ROOMS OR SPACES UNLESS DIMENSIONED OTHERWISE.
- VERIFY ALL SPRINKLER HEAD LOCATIONS WITH FIRE PROTECTION DRAWINGS.
- NOT ALL DEVICES / ITEMS ARE SHOWN. REFER TO MEP DESIGN NARRATIVE FOR MORE INFORMATION.

RCP LEGEND

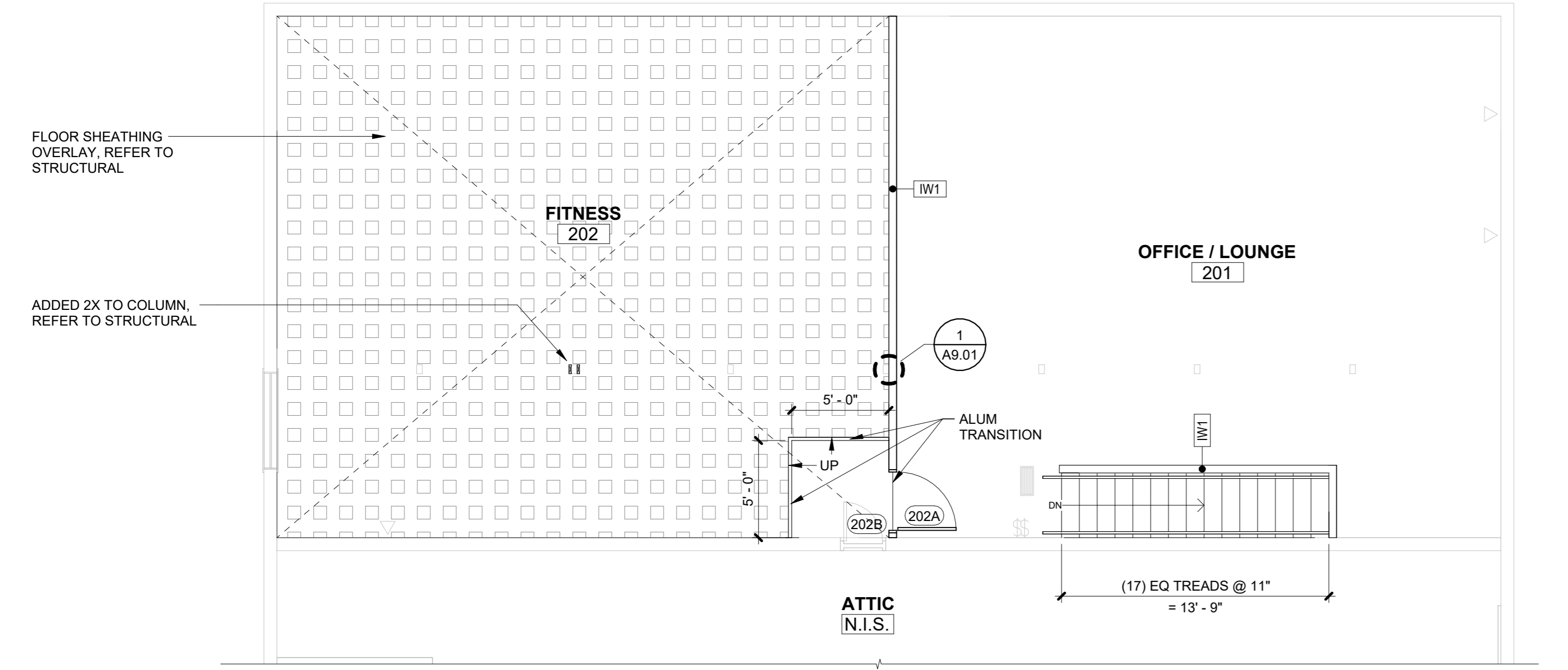
- EXISTING GYPSUM BOARD TO REMAIN - PAINT PT-1 U.N.O.
- NEW GYPSUM BOARD - PAINTED PT-1 U.N.O.
- WALL SCONCE LIGHT FIXTURE
- DOWNLIGHT LIGHT FIXTURE
- LINEAR LIGHT FIXTURE
- SUPPLY REGISTER
- RETURN REGISTER
- ILLUMINATED EXIT SIGNAGE
- TAP OUT SPEAKER (OFCI)
- SMOKE / CO DETECTOR

WALL TYPE SYMBOL

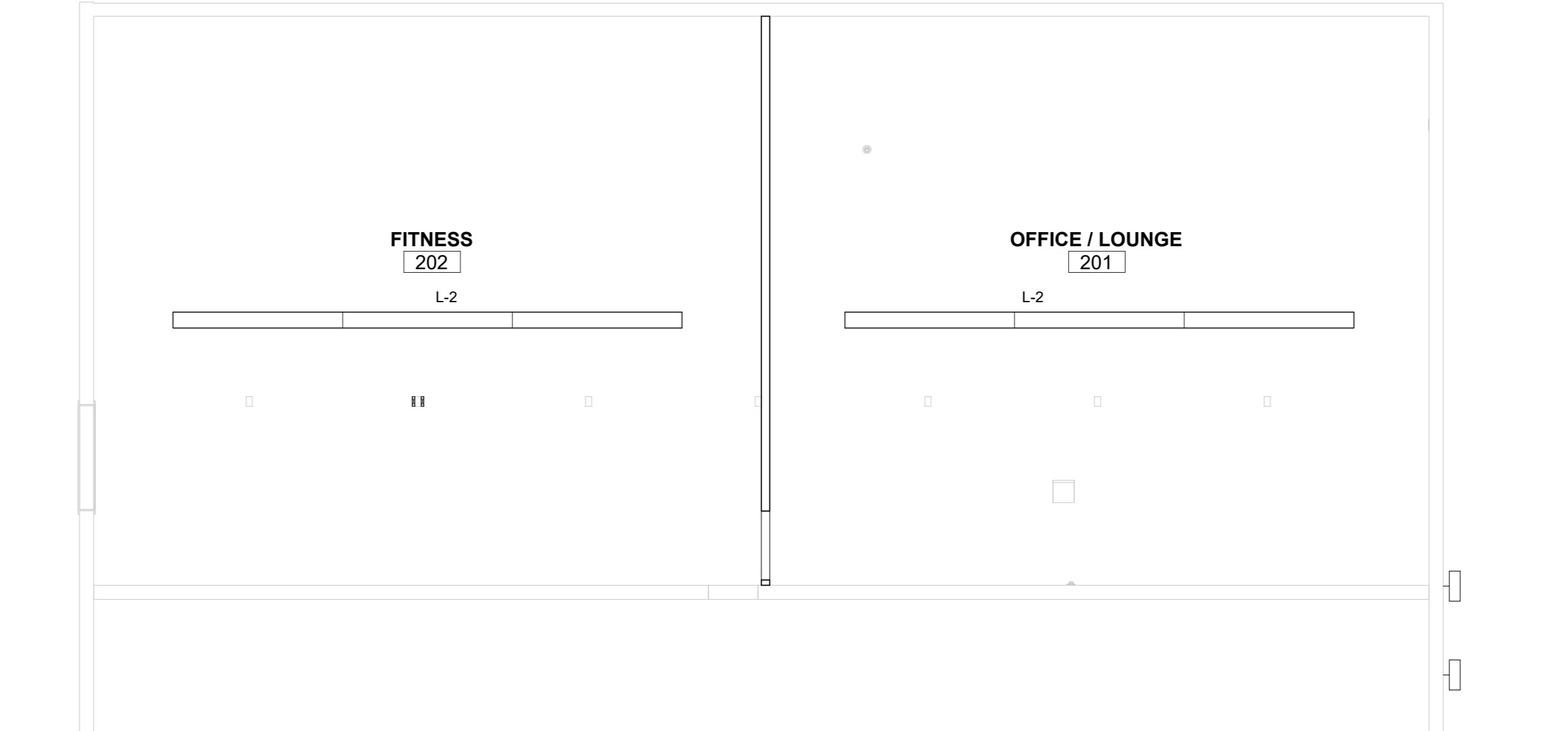
- WALL TYPE IW2
- FIRE RATING 1-HR

KEYNOTES

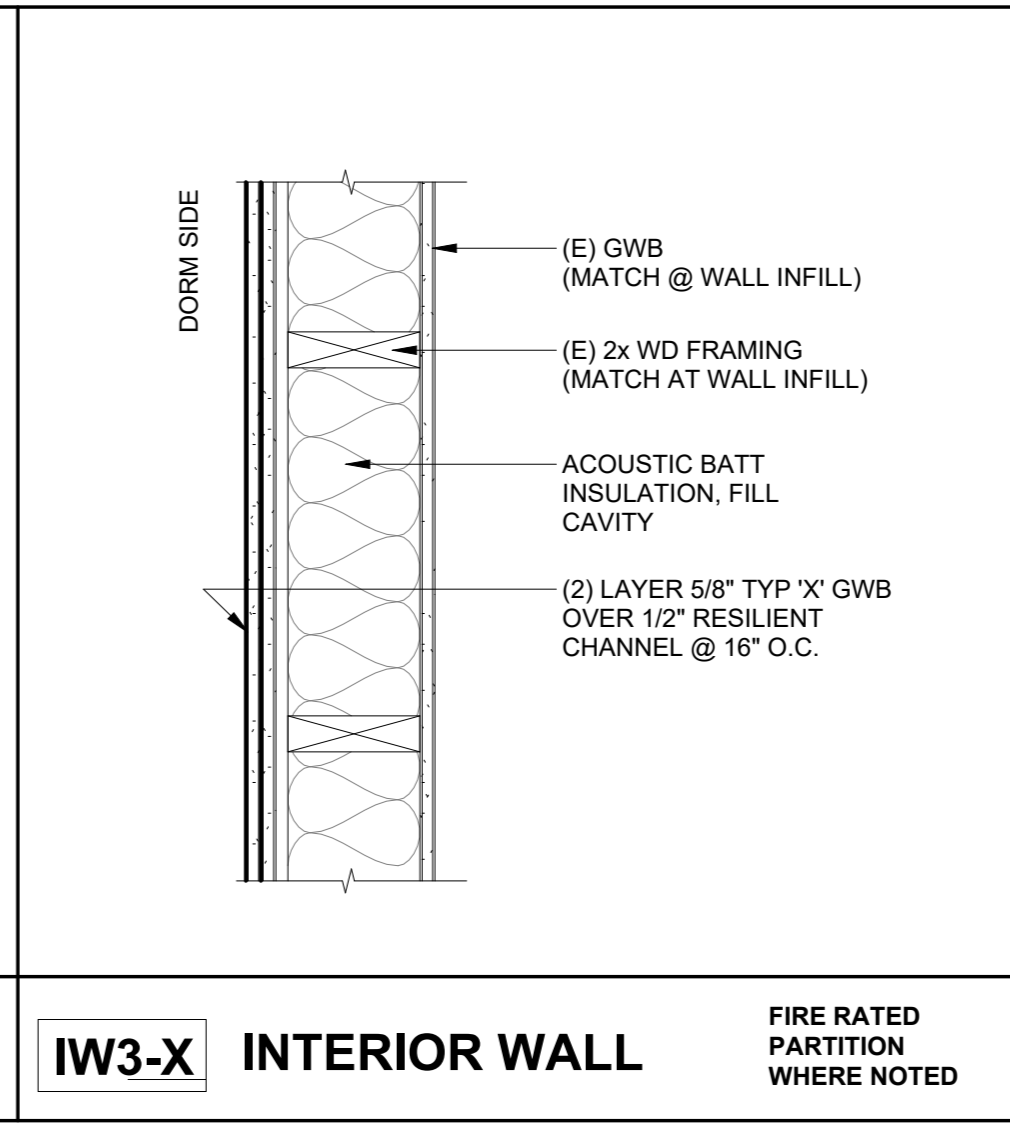
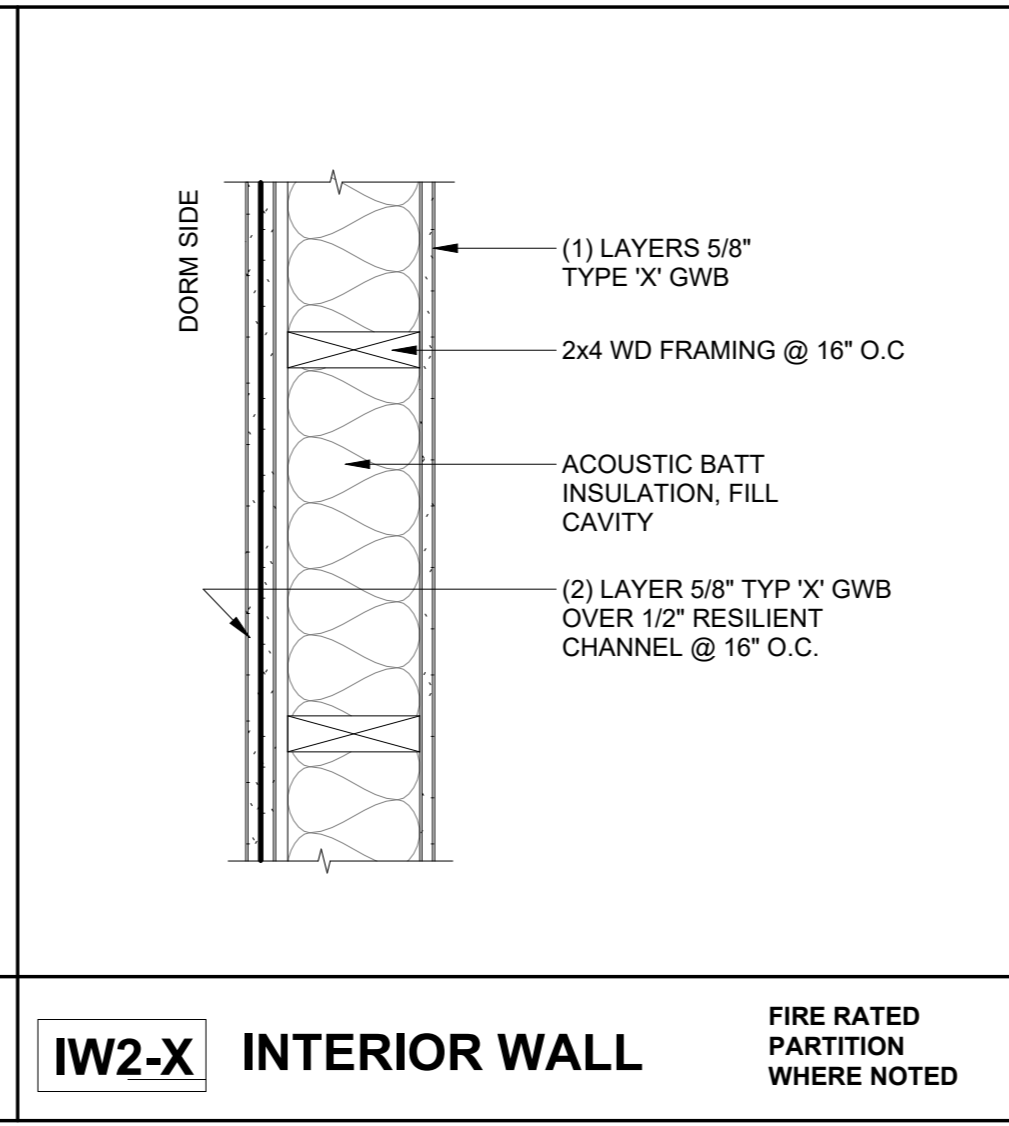
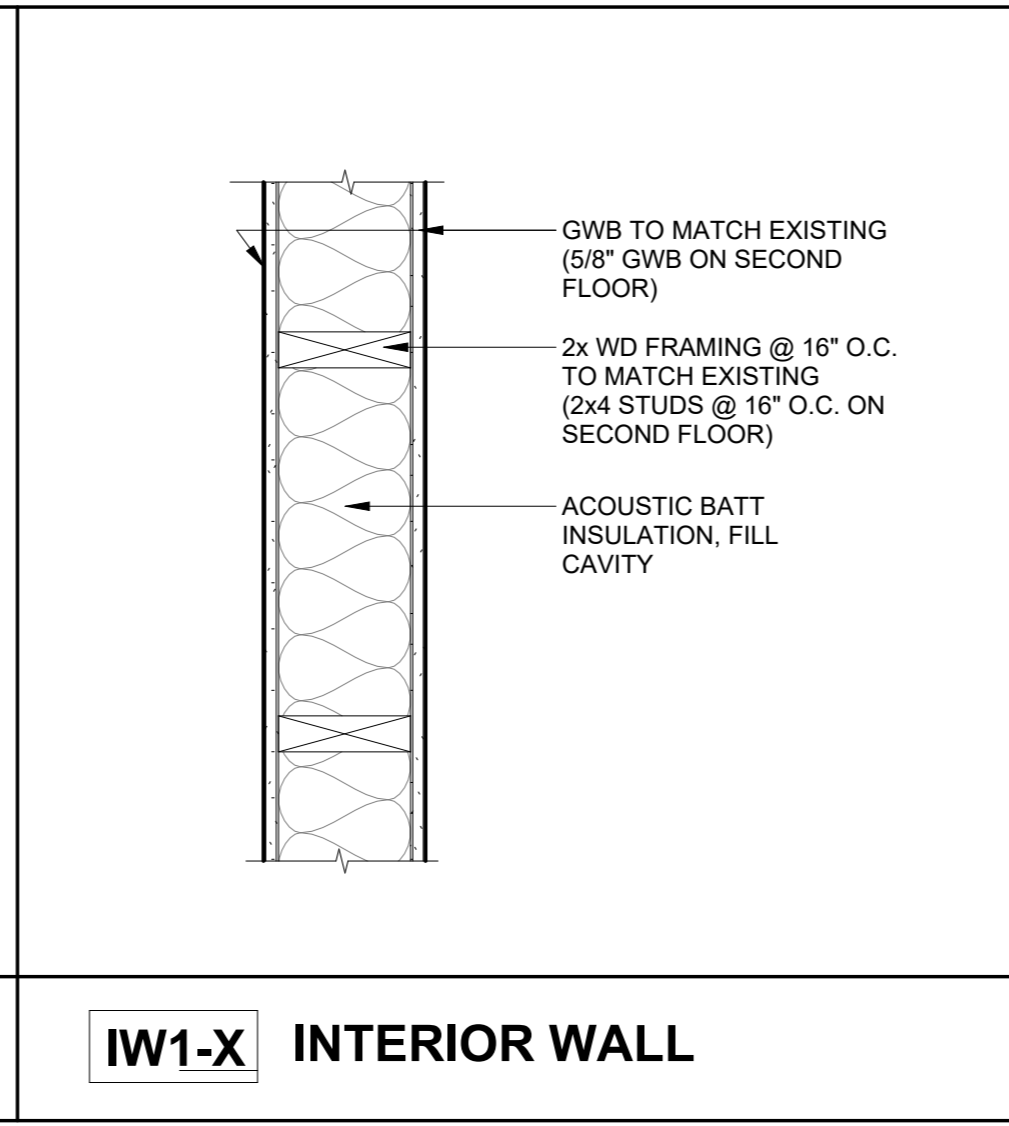
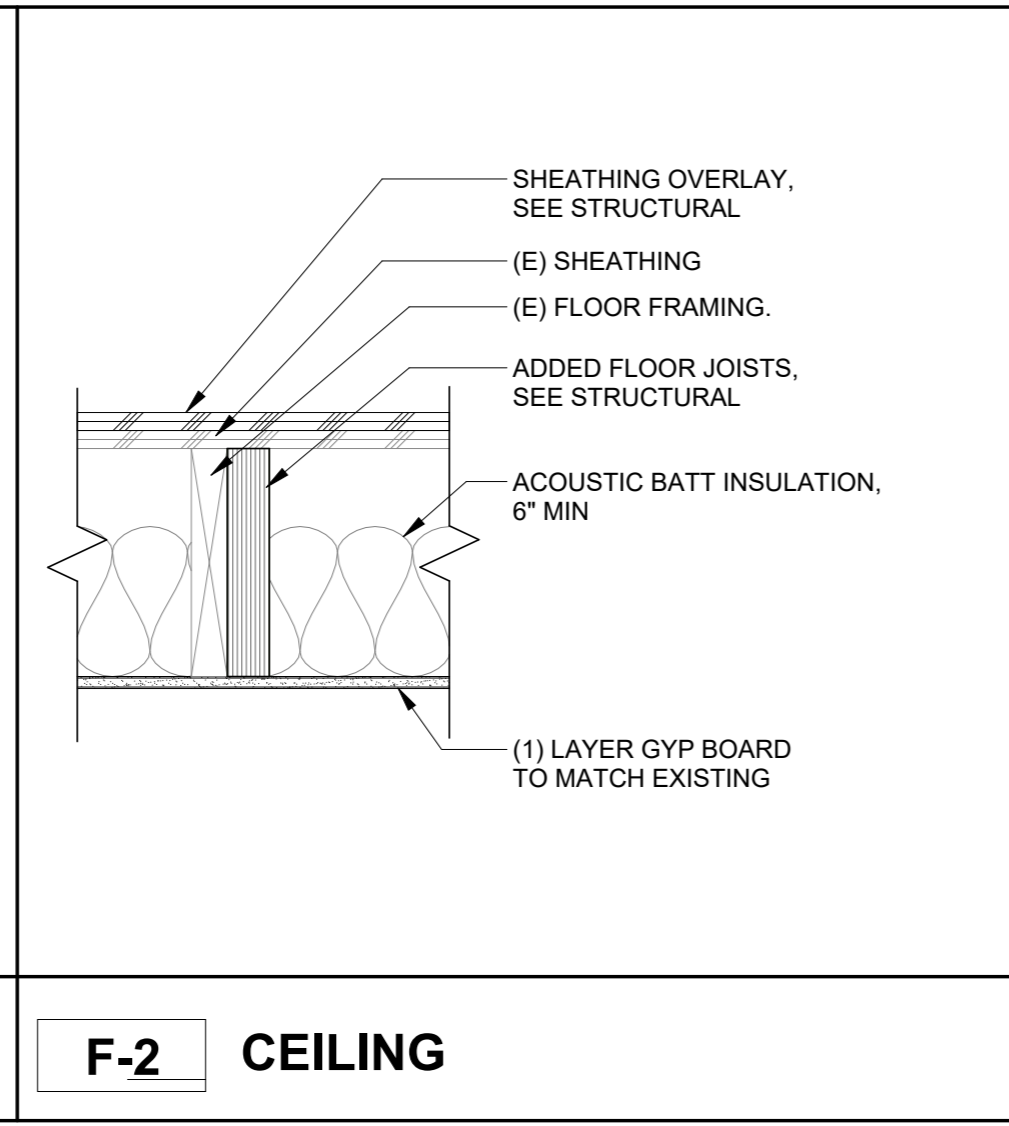
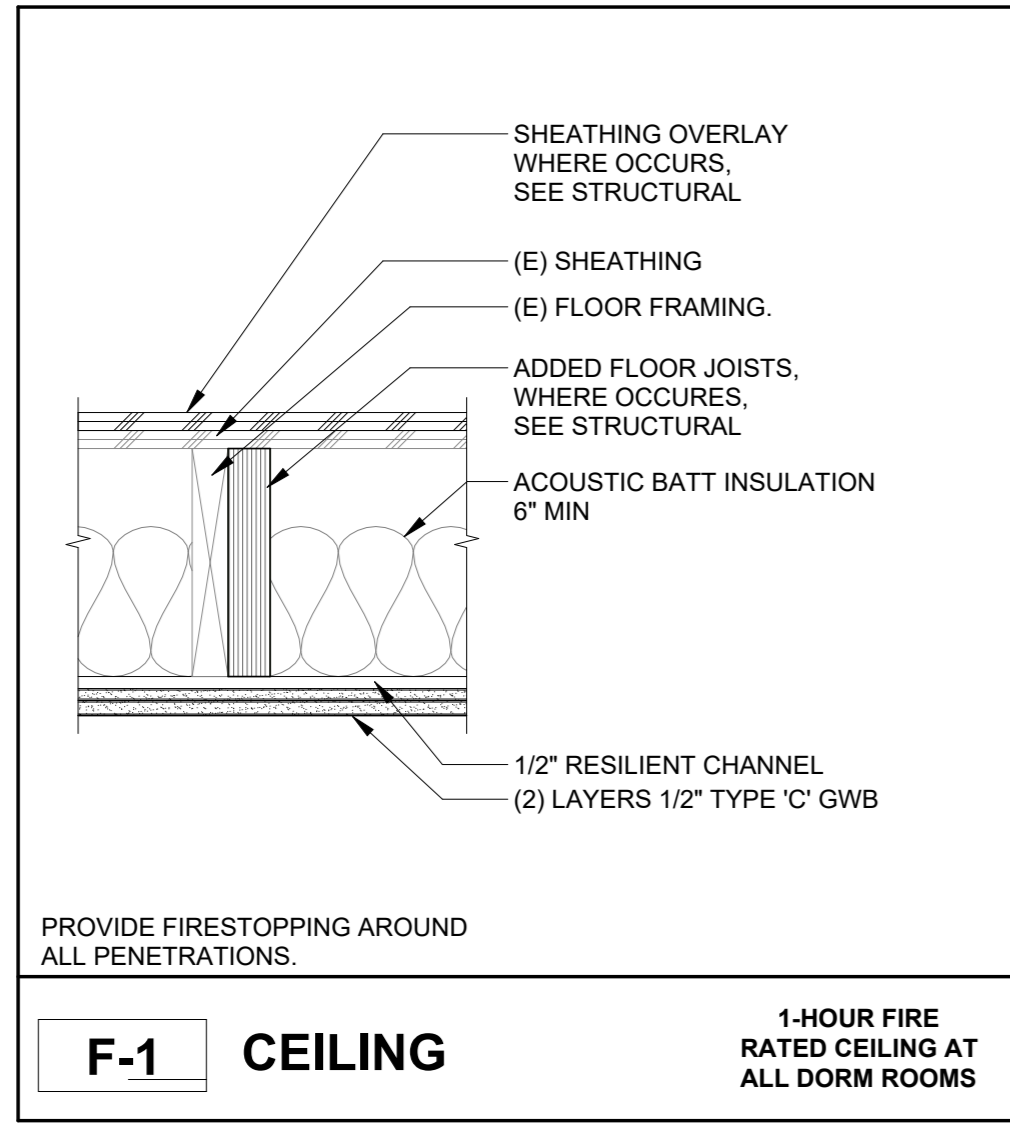
- 09-01 GRIND AND SEAL CONCRETE THROUGHOUT UNO
- 11-01 SALVAGED TV & WALL BRACKET
- 11-02 TV MOUNTED TO WALL
- 11-03 COFFEE MAKER. PROVIDE WATER CONNECTION AND POWER.
- 11-04 EXISTING EXTRACTOR
- 22-01 UPDATE PLUMBING CONNECTIONS FOR ALL FIXTURES AND APPLIANCES
- 22-02 NEW FLOOR DRAIN
- 23-01 NEW WATER HEATER
- 23-02 NEW FURNACE
- 27-01 NEW TELECOM EQUIPMENT AREA



2 SECOND FLOOR PLAN
3/16" = 1'-0"



4 SECOND FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"



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PERMIT SET 12.20.24
ISSUE DATE

Drawing: **FLOOR PLANS**

Sheet No: **A2.11**

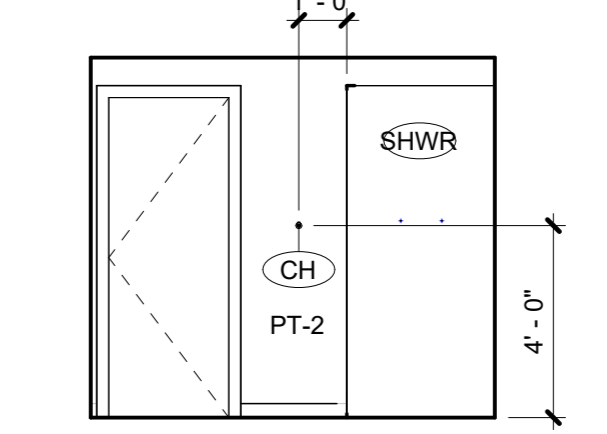
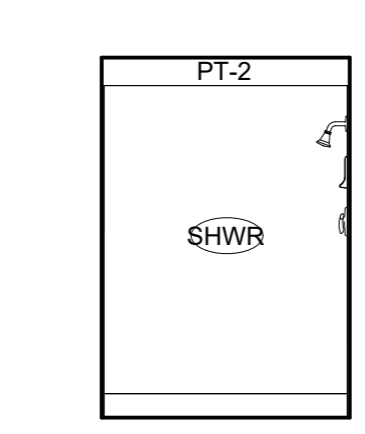
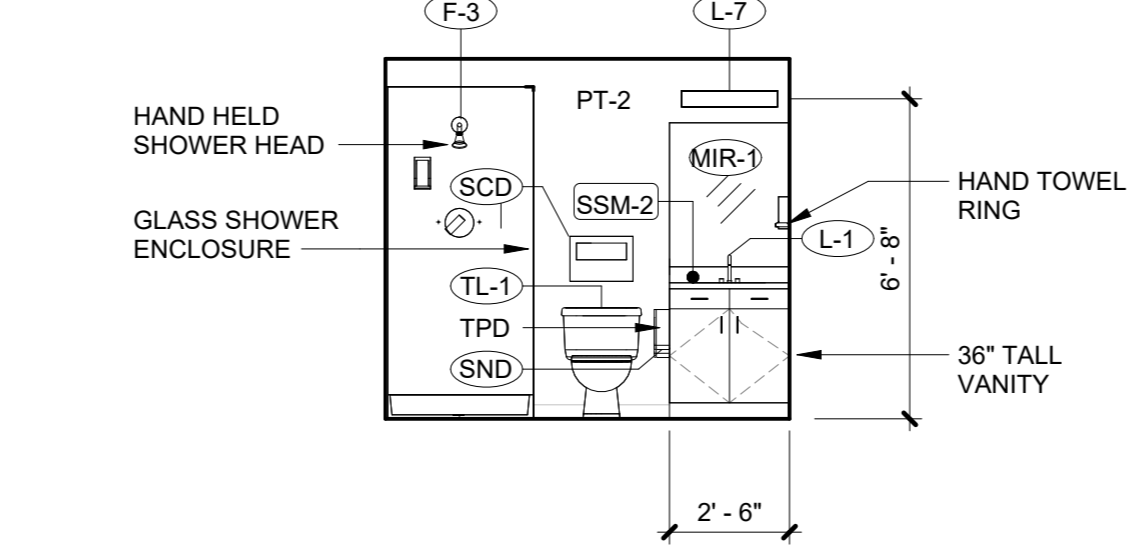
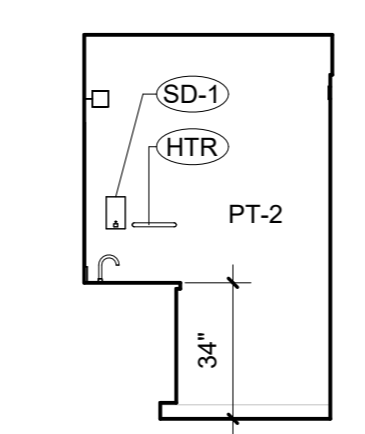
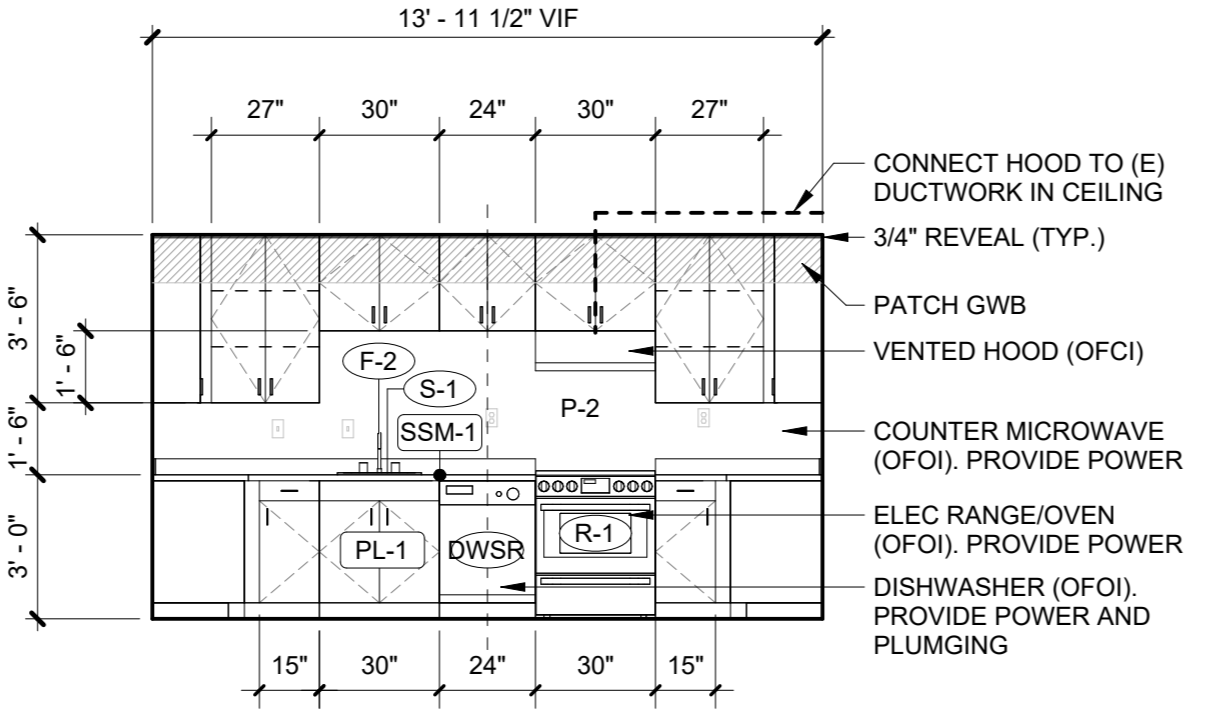
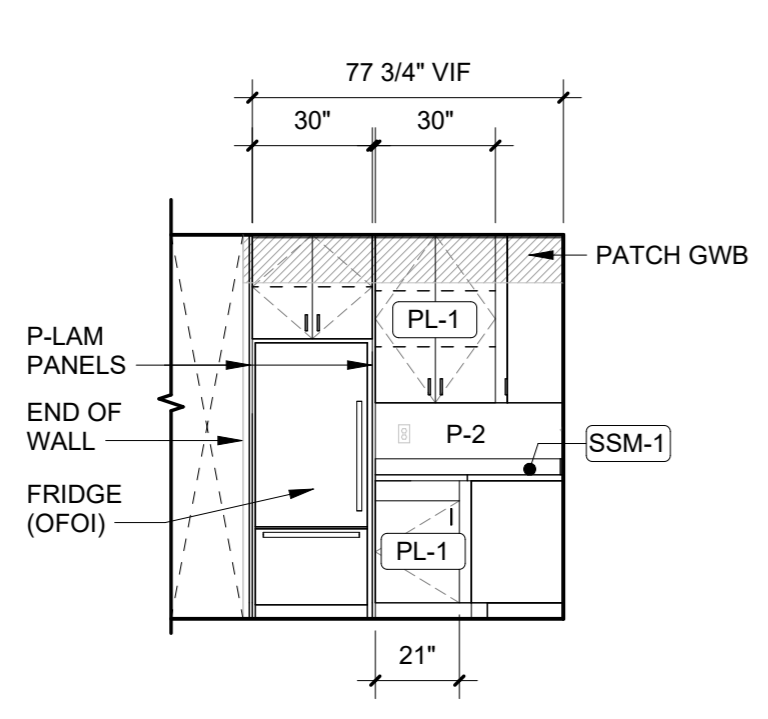
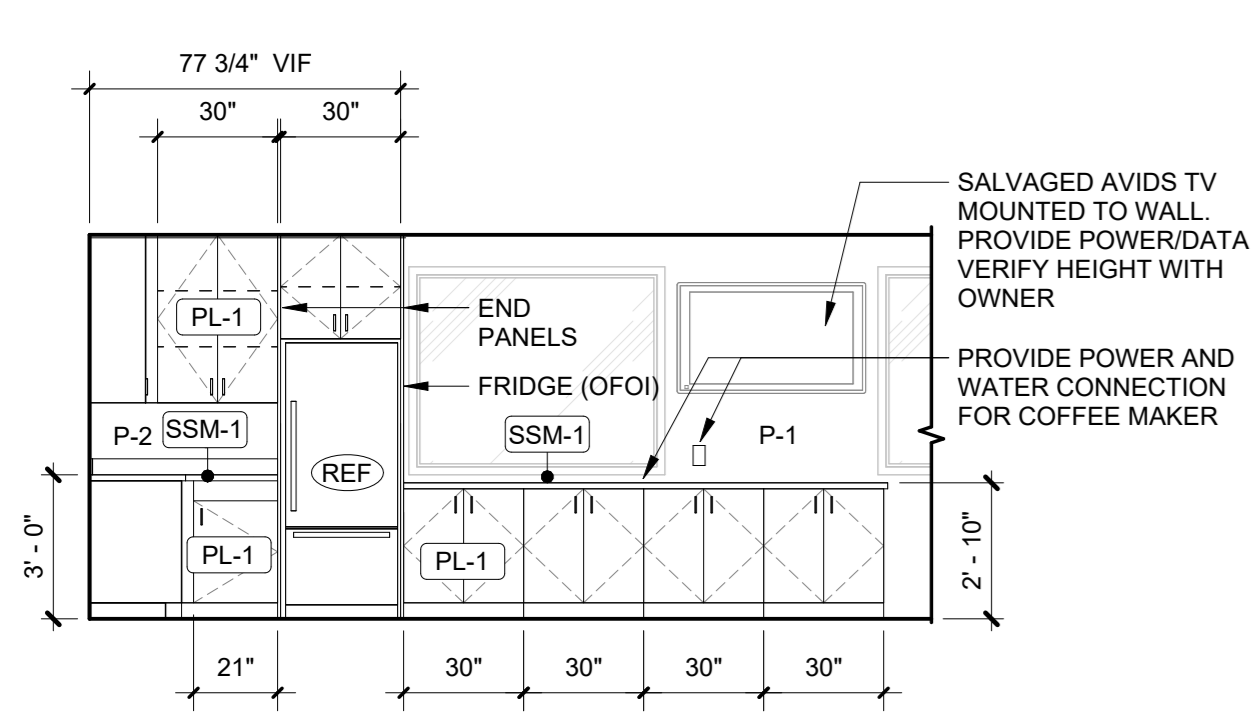


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Station 12
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Oregon City, OR 97045



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1 105 KITCHEN/LIVING - NORTH
1/4" = 1'-0"

2 105 KITCHEN/LIVING - SOUTH
1/4" = 1'-0"

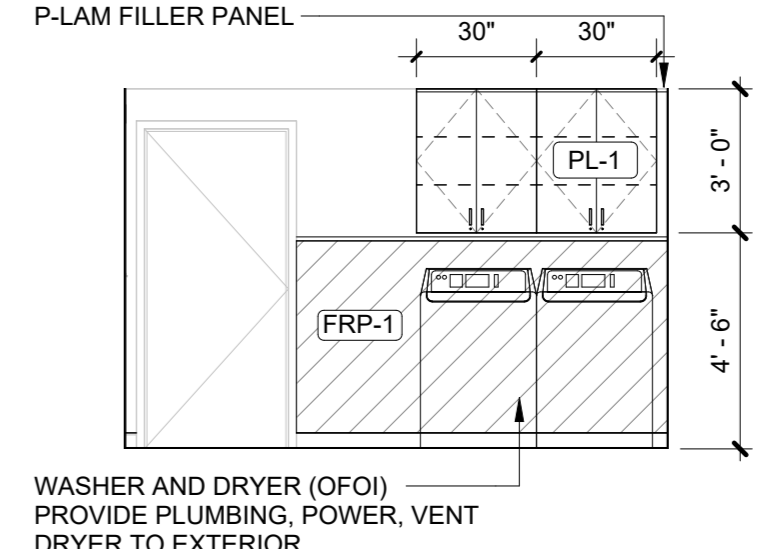
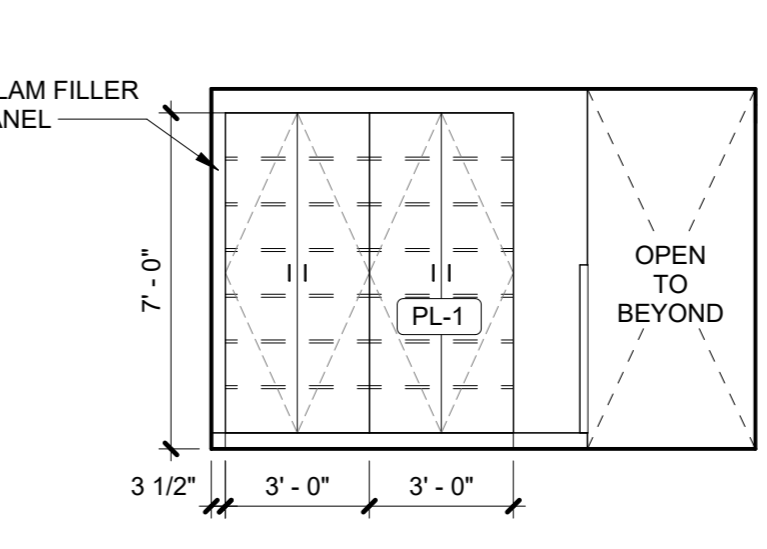
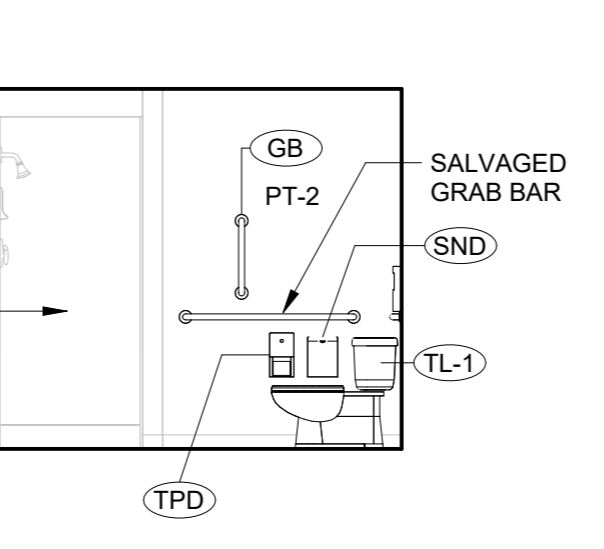
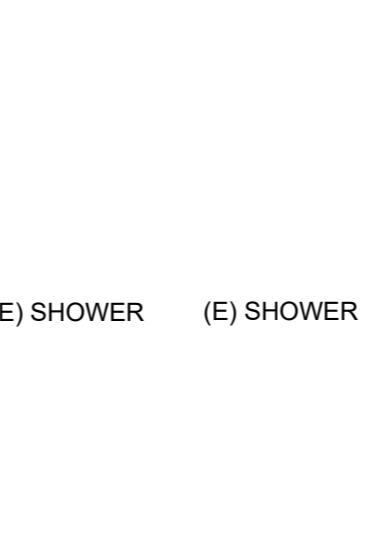
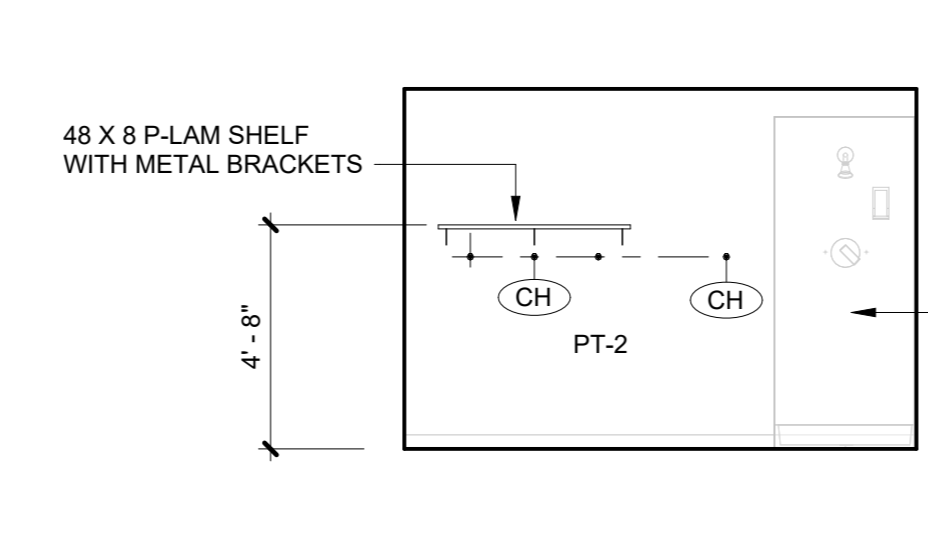
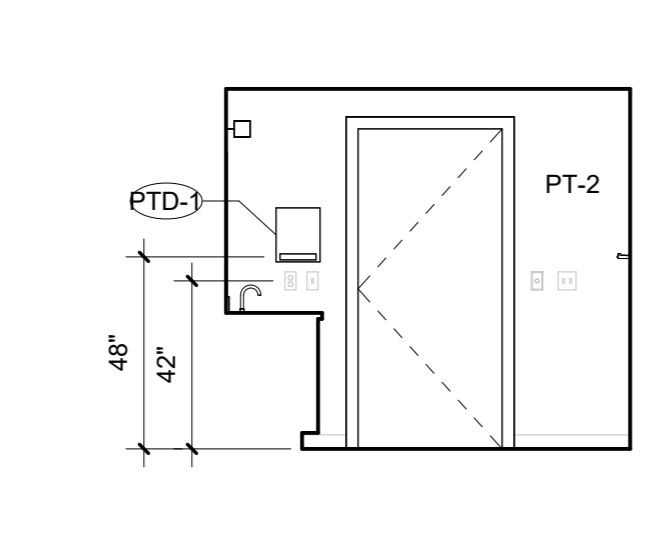
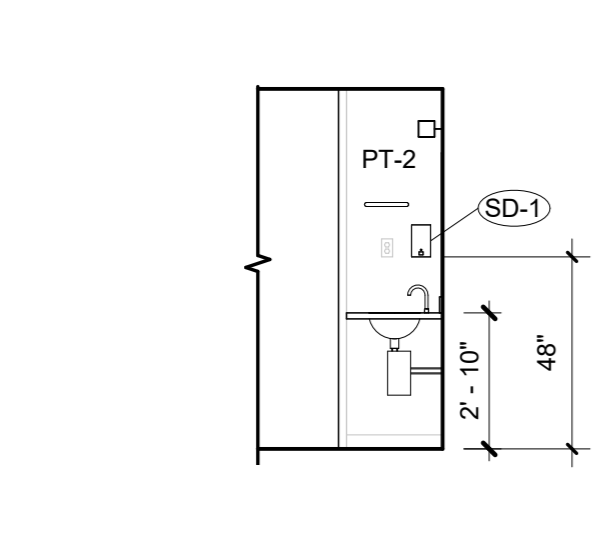
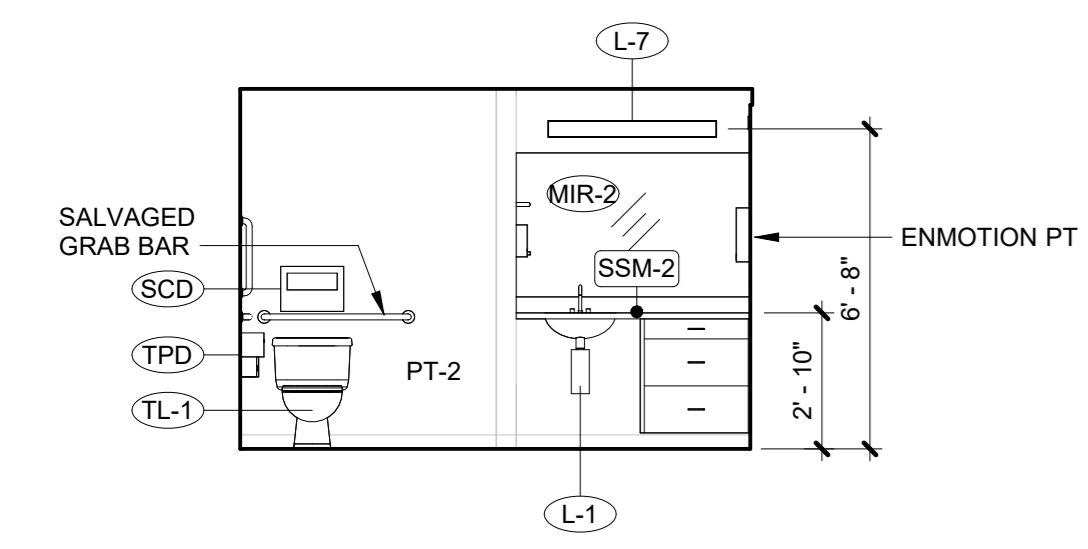
3 105 KITCHEN/LIVING - WEST
1/4" = 1'-0"

4 107 BATHROOM - NORTH
1/4" = 1'-0"

5 107 BATHROOM - WEST
1/4" = 1'-0"

6 107 BATHROOM - SOUTH
1/4" = 1'-0"

7 107 BATHROOM - EAST
1/4" = 1'-0"



8 ADA 112 BATHROOM - SOUTH
1/4" = 1'-0"

9 ADA 112 BATHROOM - EAST 01
1/4" = 1'-0"

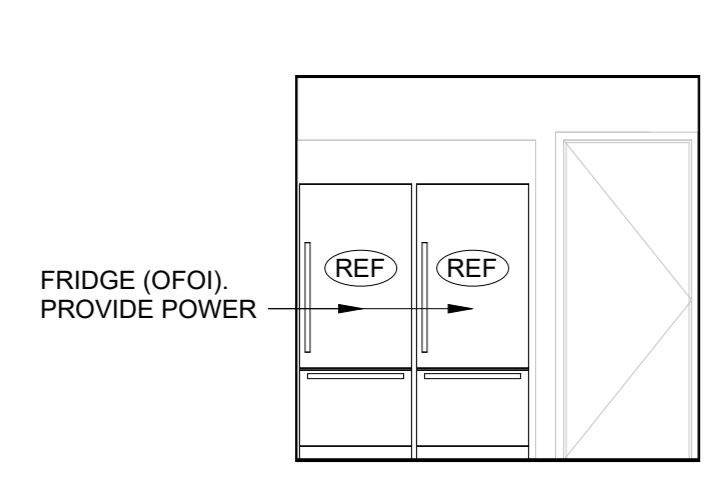
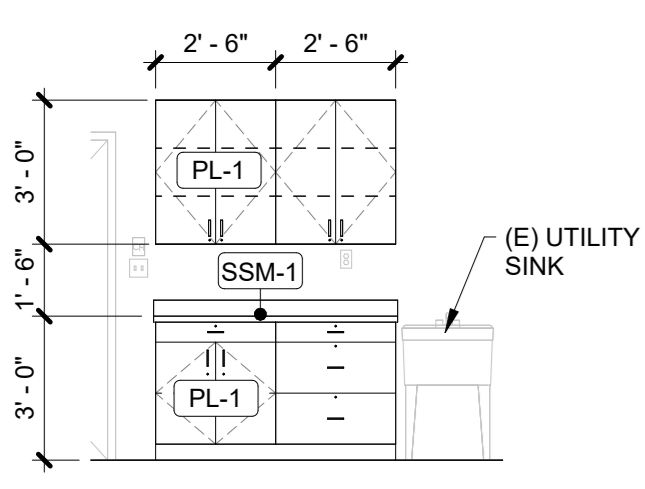
10 ADA 112 BATHROOM - WEST
1/4" = 1'-0"

11 ADA 112 BATHROOM - NORTH
1/4" = 1'-0"

12 ADA 112 BATHROOM - EAST
1/4" = 1'-0"

13 113 LAUNDRY - NORTH
1/4" = 1'-0"

14 113 LAUNDRY - SOUTH
1/4" = 1'-0"



15 EMS STORAGE
1/4" = 1'-0"

16 KITCHEN NOOK
1/4" = 1'-0"

GENERAL SHEET NOTES

- A. ALL GYPSUM BOARD WALLS TO BE PAINTED P-1, UNLESS NOTED OTHERWISE.
- B. VERIFY ALL EQUIPMENT AND FURNISHINGS DIMENSIONS AND MOUNTING / BACKING REQUIREMENTS PER MANUFACTURER'S SPECIFICATIONS. COORDINATE WORK TO ENSURE PROPER AND ADEQUATE PROVISIONS OF ALL REQUIRED UTILITY SIZING AND LOCATION, AND FOR INSTALLATION AND ANCHORAGE OF EQUIPMENT.
- C. PROVIDE BACKING AT UPPER CABINETS, FULL HEIGHT CABINETS, ACCESSORIES, VISUAL DISPLAY BOARDS, WALL MOUNTED SHELVING AND ANY WALL-MOUNTED EQUIPMENT INCLUDING THOSE PROVIDED BY OWNER.
- D. FIELD VERIFY ALL DIMENSIONS AND REQUIRED EQUIPMENT CLEARANCES PRIOR TO FABRICATION OF CABINETRY.
- E. INSTALL GROMMET HOLES IN COUNTERTOP ABOVE ALL ELECTRICAL AND DATA DEVICES. COORDINATE LOCATIONS W/ OWNER IN FIELD.
- F. WOOD-LOOK AND PLASTIC LAMINATE WITH PATTERN OR GRAIN DIRECTION TO RUN VERTICALLY ON VERTICAL SURFACES UNLESS NOTED OTHERWISE.

KEYNOTES

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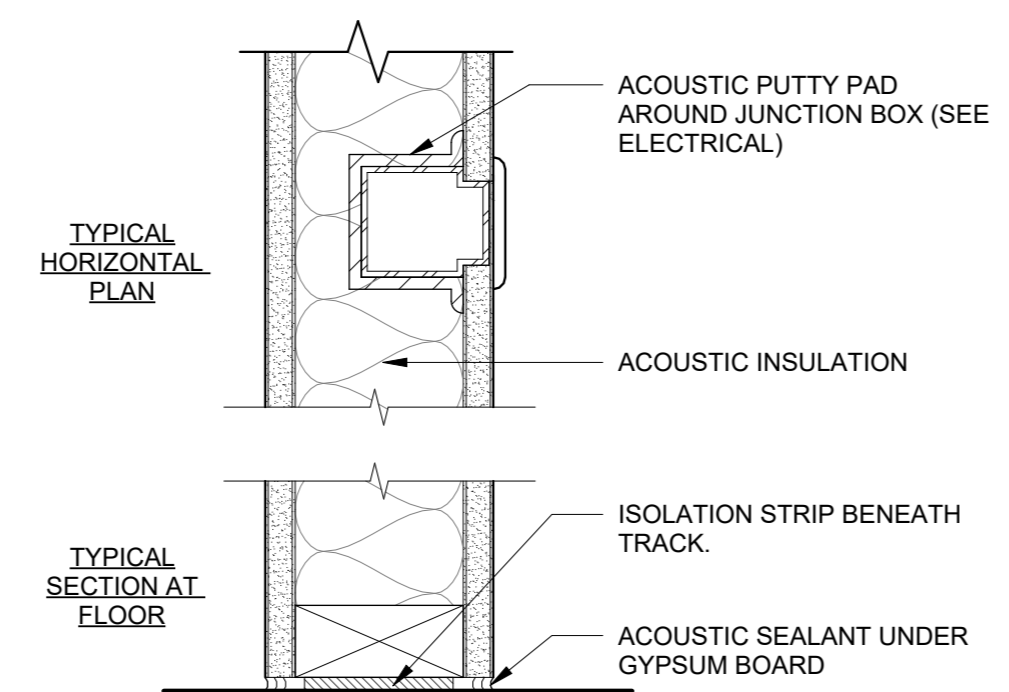
BID SET	01.06.25
PERMIT SET	12.20.24
ISSUE	DATE

Drawing:
INTERIOR ELEVATIONS

Sheet No:
A8.01

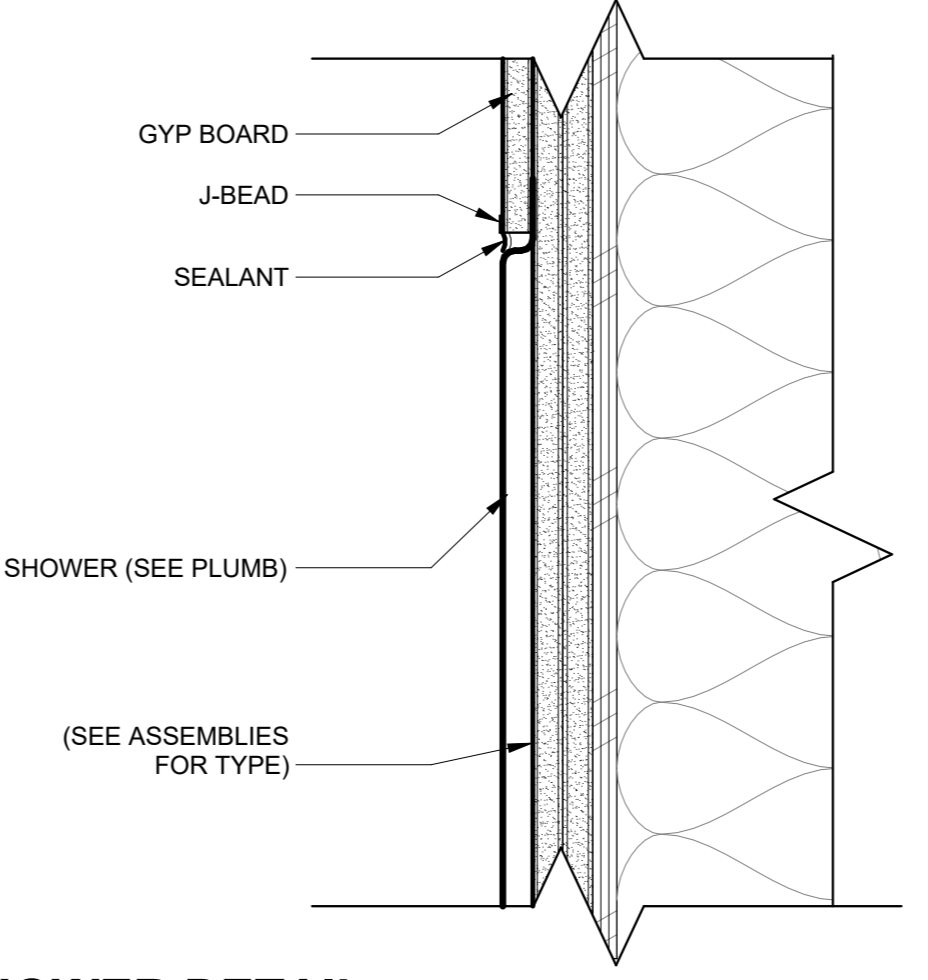


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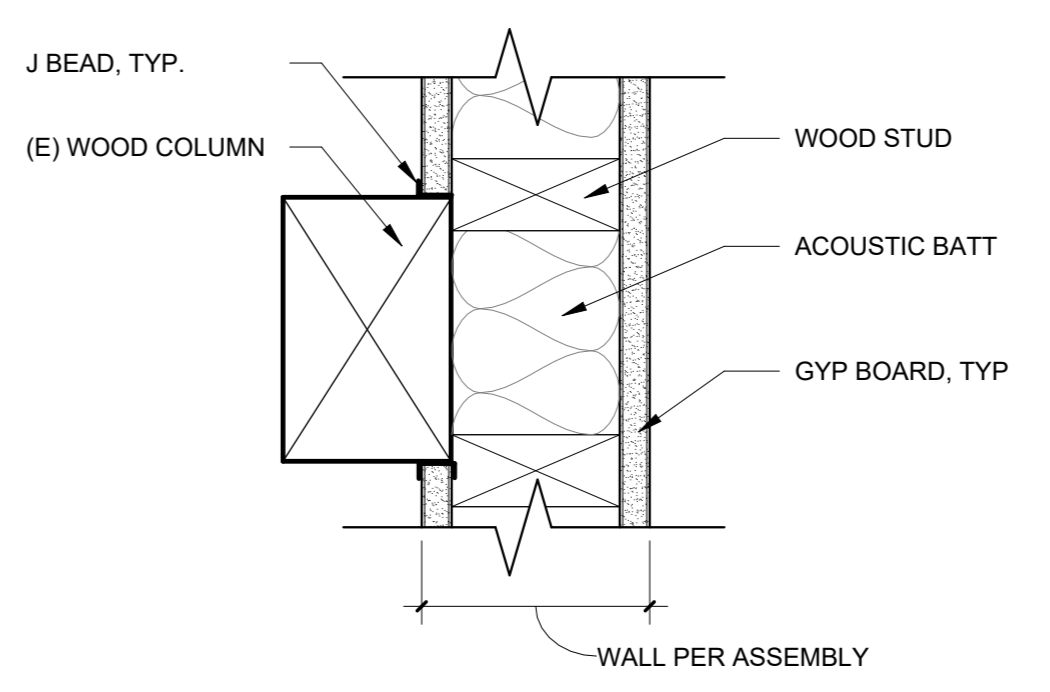


3 ACOUSTIC WALL DETAIL
3" = 1'-0"

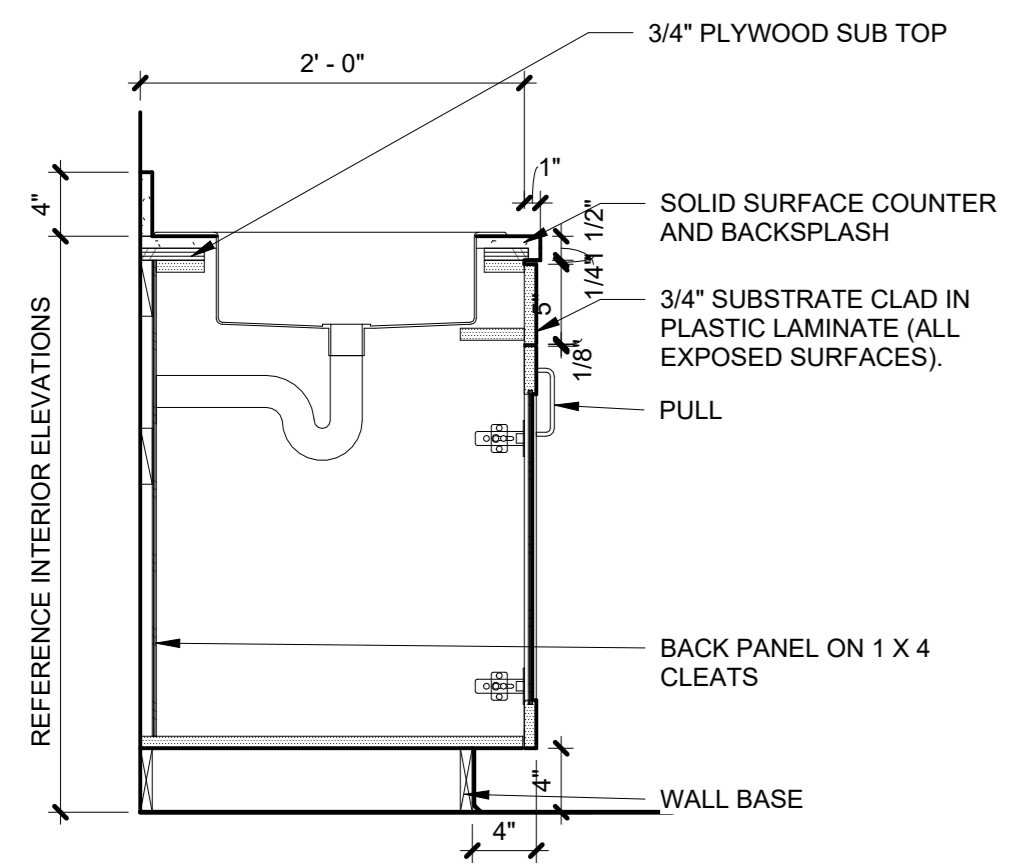
NOTE: SEAL ALL AROUND PENETRATIONS W/ BACKER ROD & SEALANT PER MANF. INSTRUCTIONS



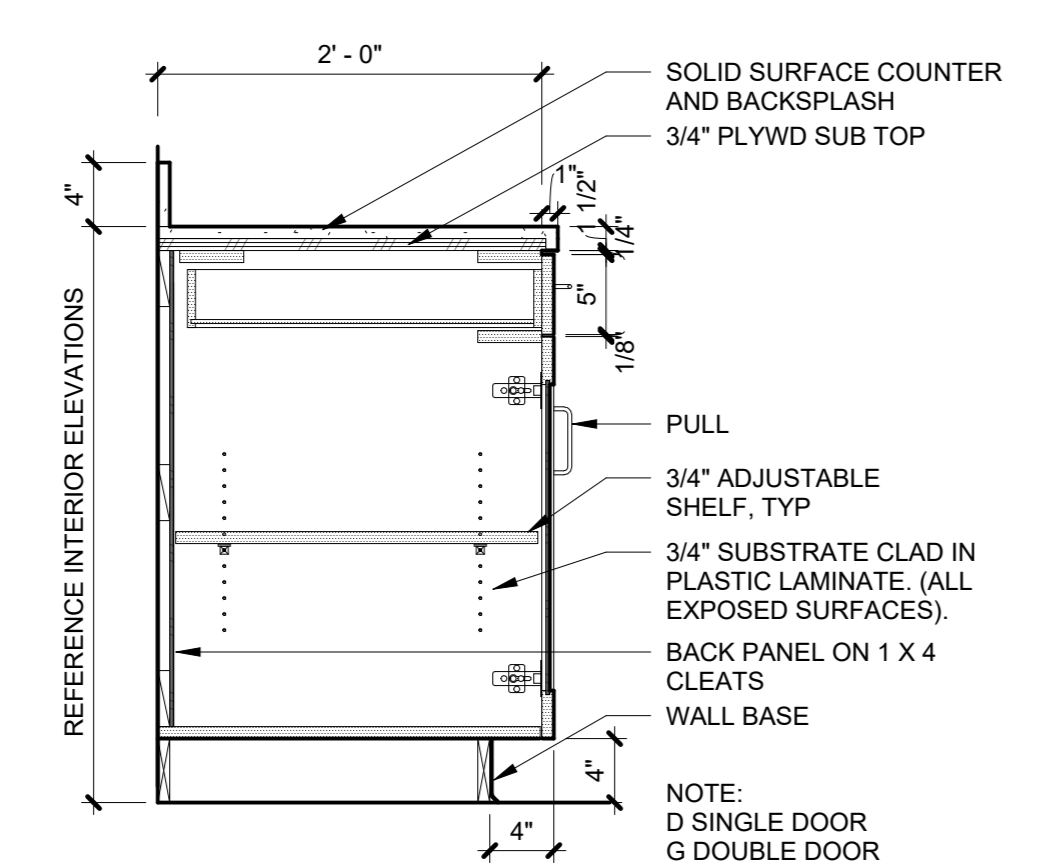
2 SHOWER DETAIL
3" = 1'-0"



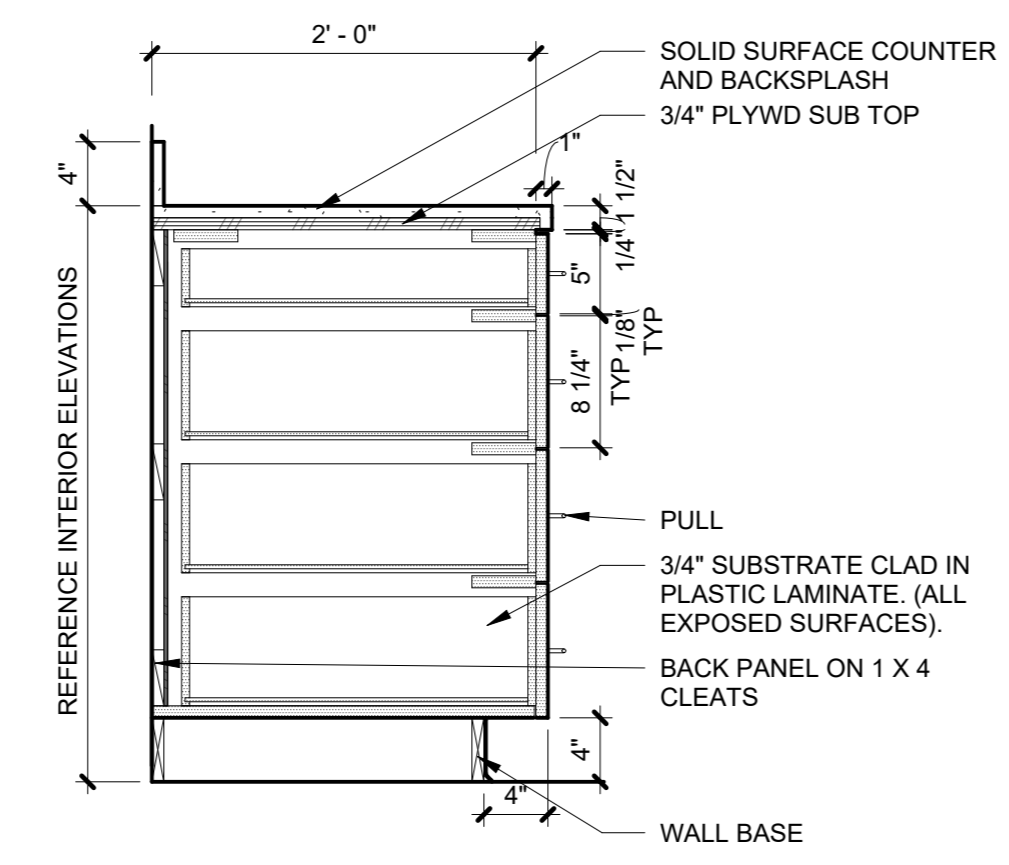
1 COLUMN @ WALL
3" = 1'-0"



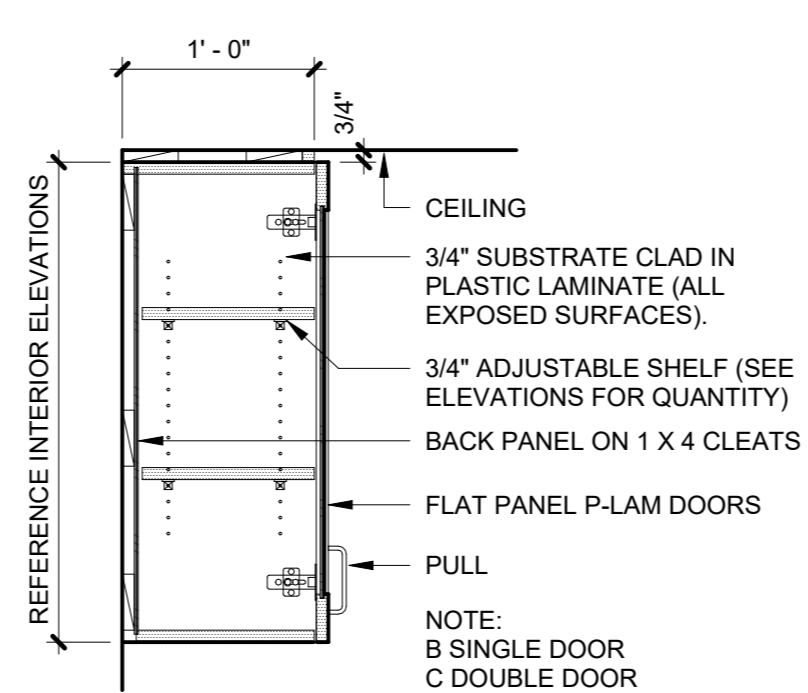
4 KITCHEN SINK
1" = 1'-0"



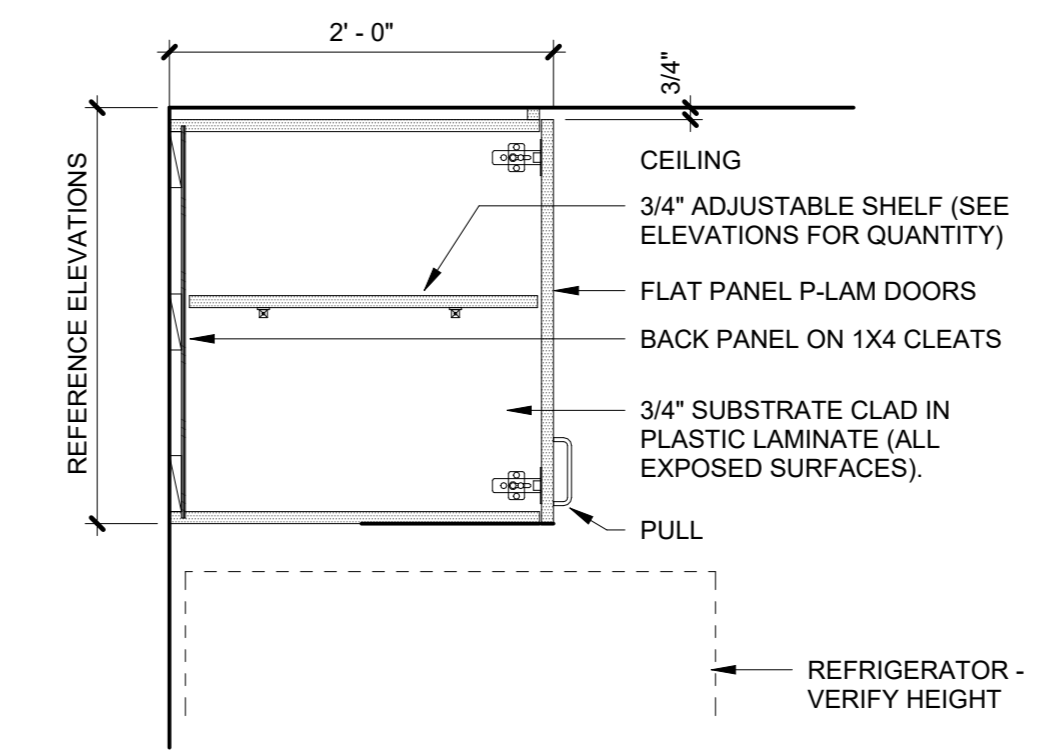
5 TYPE A
1" = 1'-0"



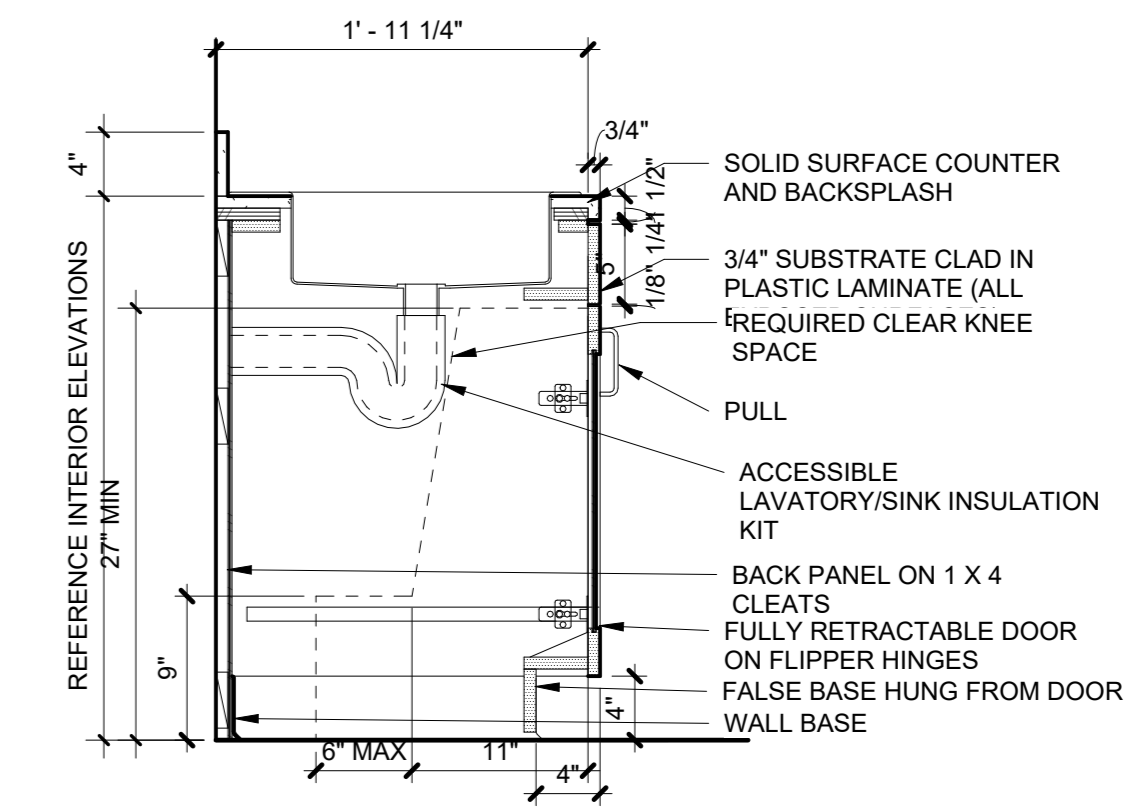
6 TYPE B
1" = 1'-0"



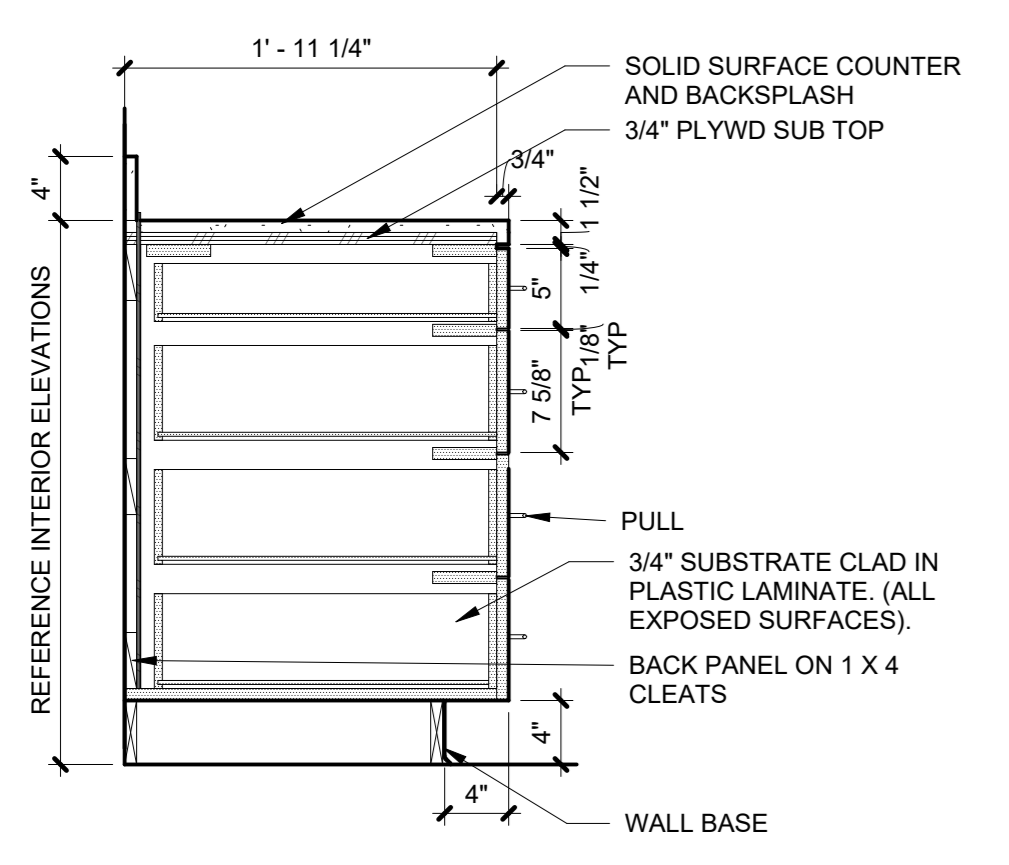
7 TYPE C UPPER CABINET
1" = 1'-0"



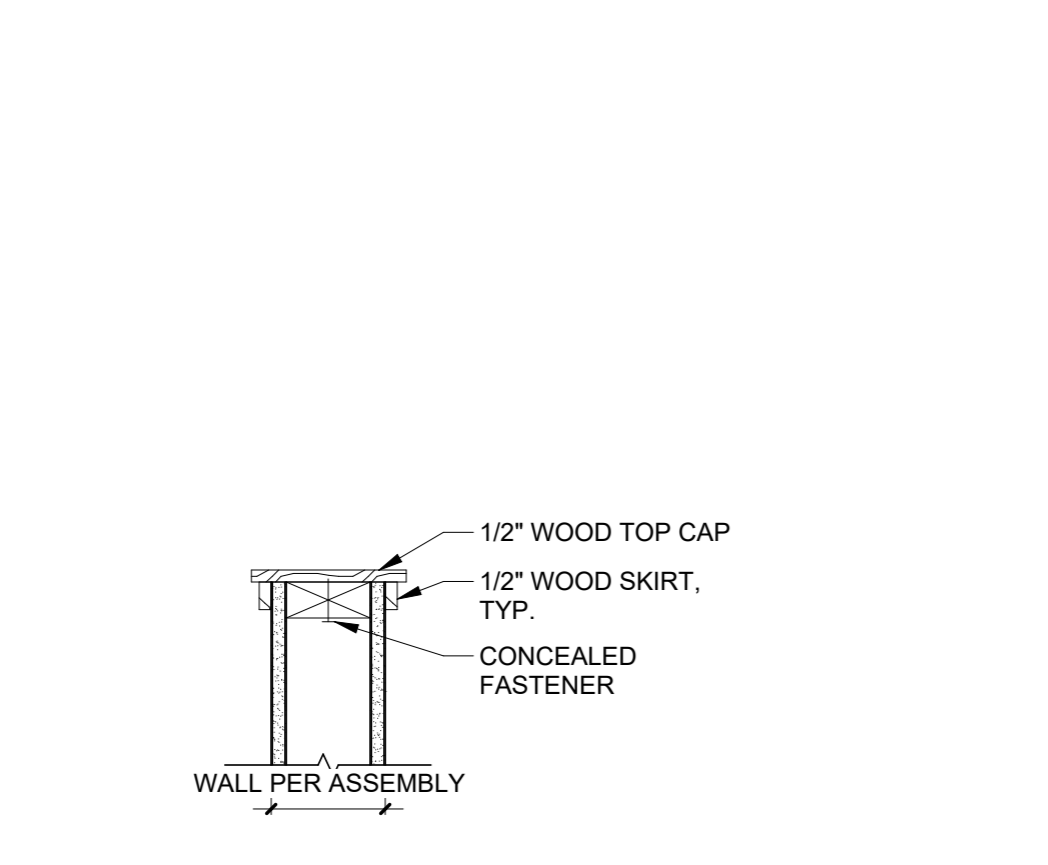
8 TYPE D REFRIGERATOR
1" = 1'-0"



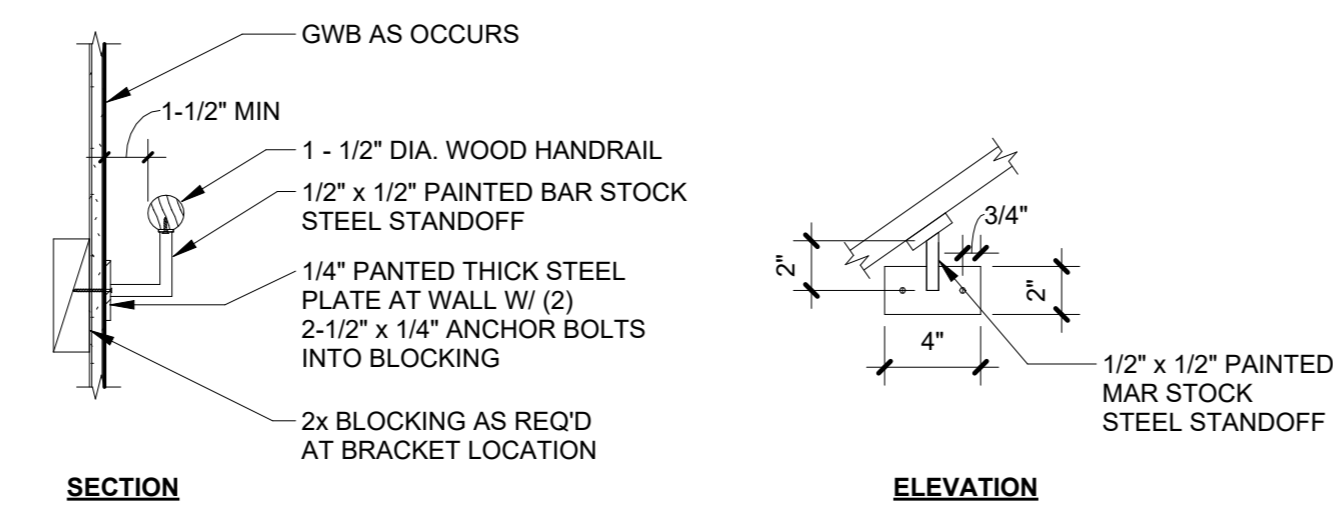
9 TYPE E (ACCESSIBLE RR)
1" = 1'-0"



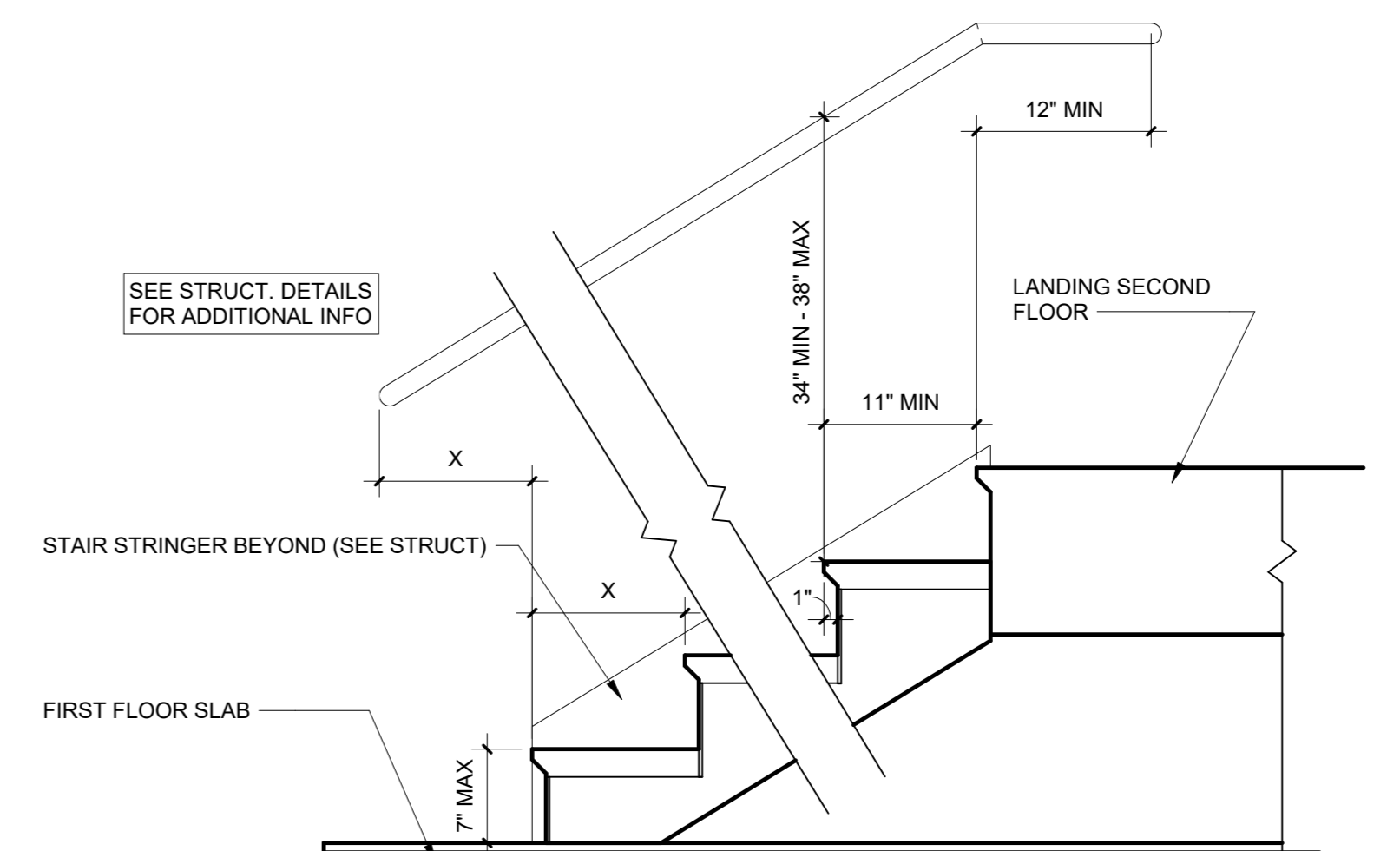
10 TYPE F (ACCESSIBLE RR)
1" = 1'-0"



11 TOP OF PARTIAL HT WALL
1 1/2" = 1'-0"



12 HANDRAIL DETAIL
1 1/2" = 1'-0"



13 TYP RISE, RUN AND HANDRAIL EXTENSIONS
1" = 1'-0"

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Digitally signed by Sid Scott
Date: 2025.01.06 16:36:37-0800'

Clackamas Fire District: Station 12

Job Number: #24115

18081 S Harding Rd
Oregon City, OR 97045



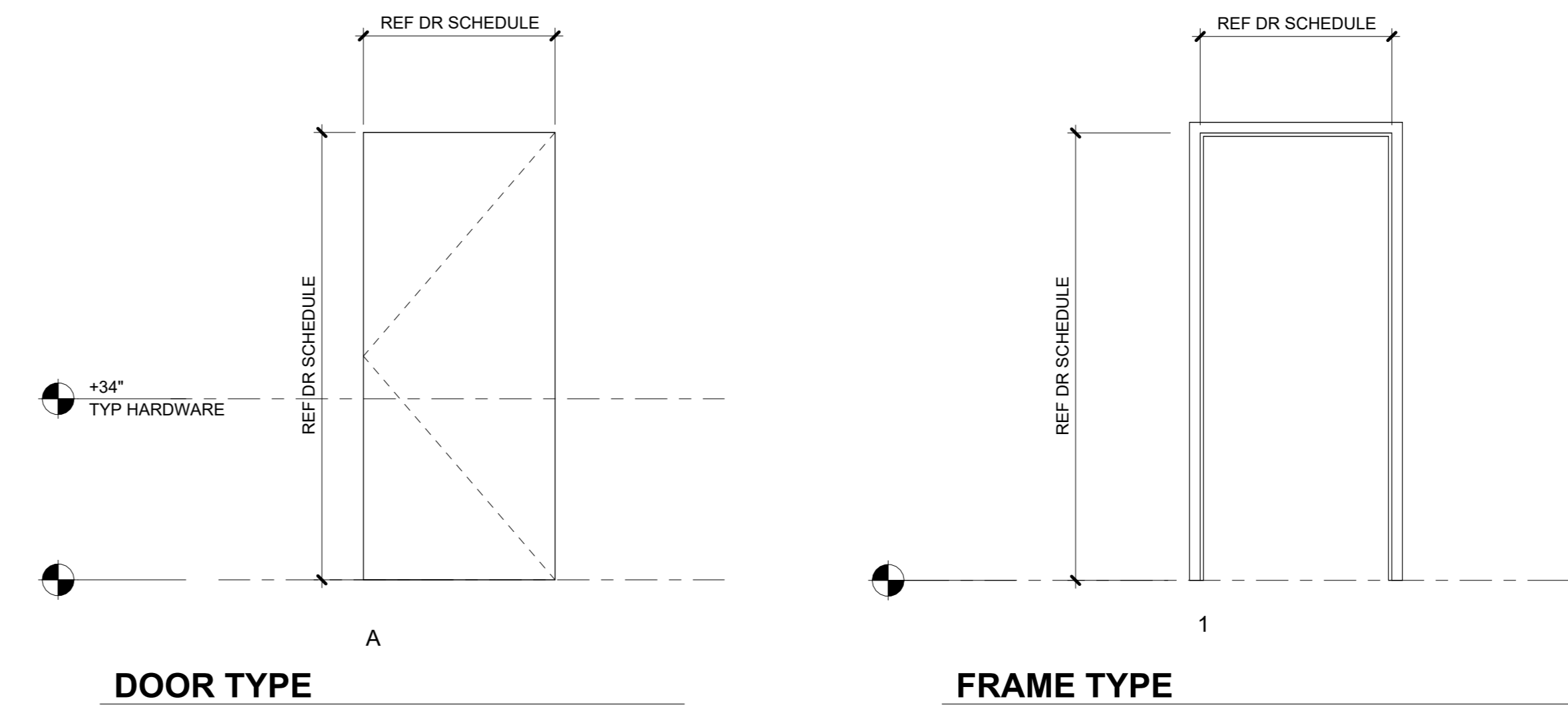
FINISH LEGEND		PLASTIC LAMINATE	WALL PROTECTION
BASE			
[RB-1] RUBBER WALL BASE MFR TARKETT PRODUCT VINYL BASE W/TOE COLOR TBD SIZE 4"	[PL-1] PLASTIC LAMINATE MFR WILSONART PRODUCT BEIGEWOOD 7850 COLOR - DIRECTION GRAIN DIRECTION TO RUN VERTICALLY	[CG-1] CORNER GUARDS MFR CONSTRUCTION SPECIALTIES PRODUCT ACROVYN CO SERIES SIZE 2" X FULL HEIGHT MATERIAL STAINLESS STEEL TEXTURE - MOUNTING ADHERED	[FRP-1] FIBERGLASS REINFORCED PLASTIC MFR MARLITE PRODUCT SMOOTH COLOR 100% WHITE TRIM ALUM CAP AND BASE TRIM, PVC TRIM ALL OTHERS
	RUBBER FLOORING		
	[RF-1] RUBBER FLOORING MFR ZANDUR PRODUCT TECHNE RUBBER COLOR TN3902 MALLET SIZE INTERLOCK 24"x24" THICKNESS 9 MM		
CARPET			
[CPT-1] EXISTING BROADLOOM CARPET MFR - COLLECTION - SERIES - PATTERN - COLOR - SIZE -			
	SOLID SURFACE	WINDOW TREATMENT	
	[SSM-1] COUNTER/ BACKSPLASH MFR CORIAN PRODUCT SOLID SURFACE COLOR WILLOW FINISH - THICKNESS .5"	[WT-1] BLACKOUT BLINDS MFR - STYLE - COLOR - NOTES A	
		FINISH LEGEND NOTES	
CONCRETE			
[CONC-1] GRIND AND SEALED (E) CONCRETE MFR - STYLE - COLOR - NOTES C	[SSM-2] SOLID SURFACE (LAVS) MFR CORIAN PRODUCT SOLID SURFACE COLOR WHITE FINISH - THICKNESS .5"		
[CONC-2] GRIND AND EPOXY (E) CONCRETE MFR - STYLE - COLOR -			
PAINT	FLOORING TRANSITIONS	ROOM FINISH SCHEDULE NOTES	
PAINT SHEENS: WALLS - EGGSHELL, UNLESS NOTED OTHERWISE CEILING - FLAT [PT-1] TYPICAL PAINT MFR SHERWIN WILLIAMS COLOR LINEN WHITE NOTES B [PT-2] EPOXY PAINT (RESTROOMS) MFR SHERWIN WILLIAMS COLOR LINEN WHITE	INSTALLER TO INSTALL PROFILES APPROPRIATE FOR FLOORING TYPE AND APPLICATION. FLOOR TRANSITIONS TO BE LOCATED AT CENTERLINE OF DOOR UNLESS OTHERWISE NOTED.	A. -	

No.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		COMMENTS
				NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	
				FINISH	FINISH	FINISH	FINISH			
FIRST FLOOR										
101	APPARATUS BAY	(E)	RB-1	PT-1	PT-1	PT-1	PT-1	(E)	PT-1	
102	TURN OUT	(E)	RB-1	PT-1	PT-1	PT-1	PT-1	(E)	PT-1	
103	LOBBY	CONC-1	RB-1	PT-1	PT-1	PT-1	PT-1	(E)	PT-1	
104	DORM 1	CONC-1	RB-1	PT-1	PT-1	PT-1	PT-1	GB	PT-1	
105	KITCHEN/LIVING	CONC-1	RB-1	PT-1 / PT-2	PT-1	PT-1 / PT-2	PT-1 / PT-2	GB, (E)	PT-1	
106	STORAGE	CONC-1	RB-1	PT-1	PT-1	PT-1	PT-1	(E)	PT-1	
107	RR	CONC-2	RB-1	PT-2	PT-2	PT-2	PT-2	(E)	PT-1	EPOXY PAINT
108	CORRIDOR	CONC-1	RB-1	PT-1	-	PT-1	PT-1	GB	PT-1	
109	DORM 2	CONC-1	RB-1	PT-1	PT-1	PT-1	PT-1	GB	PT-1	
110	DORM 3	CONC-1	RB-1	PT-1	PT-1	PT-1	PT-1	GB	PT-1	
111	STORAGE	CONC-1	RB-1	PT-1	PT-1	PT-1	PT-1	GB	PT-1	
112	RR	CONC-2	RB-1	PT-2	PT-2	PT-2	PT-2	(E)	PT-1	EPOXY PAINT
113	LAUNDRY	CONC-2	RB-1	PT-1	PT-1	PT-1 / FRP-1	PT-1 / FRP-1	(E)	PT-1	FRP, SEE INTERIOR ELEVATIONS
SECOND FLOOR										
201	OFFICE / LOUNGE	(E)	RB-1	PT-1	PT-1	PT-1	PT-1	(E)	PT-1	
202	FITNESS	RF-1	RB-1	PT-1	PT-1	PT-1	PT-1	(E)	PT-1	

DOOR NUMBER	DOOR										FRAME				DETAILS				NOTES
	TYPE	WIDTH	HEIGHT	THICKNESS	CONSTRUCTION	FINISH	TYPE	CONSTRUCTION	FINISH	SILL	JAMB	HEAD	GLAZING	FIRE RATING	HARDWARE				
FIRST FLOOR																			
101A	(E)	12'-0"	11'-0"	0'-1 3/4"	(E)	PT	(E)	(E)							01	EXISTING APPARATUS BAY DOOR			
101B	(E)	12'-0"	11'-0"	0'-1 3/4"	(E)	PT	(E)	(E)							01	EXISTING APPARATUS BAY DOOR			
101C	(E)	3'-0"	6'-8"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						11	PAINT EXISTING DOOR (INTERIOR SIDE)			
101D	(E)	12'-0"	11'-0"	0'-1 3/4"	(E)	PT	(E)	(E)							01	EXISTING APPARATUS BAY DOOR			
102	(E)	3'-0"	6'-8"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						03	PAINT EXISTING DOOR, REPLACE HARDWARE TO BE ACCESSIBLE			
103A	(E)	3'-0"	6'-8"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						02	PAINT EXISTING DOOR (INTERIOR SIDE), REPLACE HARDWARE			
103B	(E)	3'-0"	6'-8"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						04	PAINT EXISTING DOOR			
104	A	3'-0"	6'-8"	0'-1 3/4"	WD-S	PT	1	WD	PT				20	05	CLOSER, ACOUSTIC SEALS AND THRESHOLD				
105B	(E)	3'-0"	6'-8"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						04	PAINT EXISTING DOOR			
106	(E)	2'-8"	6'-8"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						06	PAINT EXISTING DOOR, REPLACE HARDWARE TO BE ACCESSIBLE			
107	A	2'-8"	6'-8"	0'-1 3/4"	WD-S	PT	1	WD	PT						07				
109	A	3'-0"	6'-8"	0'-1 3/4"	WD-S	PT	1	WD	PT				20	05	CLOSER, ACOUSTIC SEALS AND THRESHOLD				
110	A	3'-0"	6'-8"	0'-1 3/4"	WD-S	PT	1	WD	PT				20	05	CLOSER, ACOUSTIC SEALS AND THRESHOLD				
111	A	3'-0"	6'-8"	0'-1 3/4"	WD-S	PT	1	WD	PT						08				
112	(E)	3'-0"	6'-8"	0'-1 3/4"	(E)	PT	1	(E)	PT						09	PAINT EXISTING DOOR, HINGE SIDE FLIPPED AND REVERSE SWING, REPLACE HARDWARE TO BE ACCESSIBLE			
113	(E)	3'-0"	6'-8"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						04	PAINT EXISTING DOOR			
SECOND FLOOR																			
202A	A	3'-0"	6'-8"	0'-1 3/4"	WD-S	PT	1	WD	PT						10				
202B	A	2'-0"	4'-0"	0'-1 3/4"	(E)	PT	(E)	(E)	PT						(E)	PAINT EXISTING ATTIC ACCESS DOOR			

FIXTURE AND ACCESSORY SCHEDULE				
DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
[PTD-1] PAPER TOWEL DISPENSER	GEORGIA-PACIFIC	ENMOTION 59488A	BLACK	
[HTR-1] HAND TOWEL RING	OFOI	-	-	
[MIR-1] 30"x36" MIRROR	BOBRICK	B-290	STAINLESS	
[MIR-2] 60"x36" MIRROR	BOBRICK	B-290	STAINLESS	VIF
[TPD-1] TOILET PAPER DISPENSER	BOBRICK	B-540	STAINLESS	
[SND-1] SANITARY NAPKIN DISPOSAL	BOBRICK	B-35139	STAINLESS	
[SD-1] SOAP DISPENSER	GEORGIA-PACIFIC	ENMOTION 52057	BLACK	
[SCD-1] SEAT COVER DISPENSER	BRADLEY	583	STAINLESS	
[CH-1] COAT HOOK	BOBRICK	B-9541	STAINLESS	1
[L-1] LAVATORY	SLOAN	DSWD-83000	SSM-2	SEE FINISH LEGEND
[L-2] LAVATORY	AMERICAN STANDARD	9024.001EC	WHITE	
[F-1] FAUCET	MOEN	9419	CHROME	
[F-2] FAUCET	KOHLER	K-24982	POLISHED NICKEL	
[F-3] FAUCET	MOEN	T8346EP15, 8371HD VALVE (VERIFY)	BRUSHED NICKEL	@ SHOWER
[S-1] SINK	ELKAY	ECTRU21179TC	POLISHED SATIN	
[TL-1] TOILET	KOHLER	K-31620-0	WHITE	SOFT CLOSE SEAT
[GB-1] GRAB BARS	BROBRICK	B-5806	STAINLESS	1.25" dia; 18"
NOTES				
A. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR ALL ACCESSORIES.				
B. CONTRACTOR TO ROUTE UTILITIES IN WALL TO AVOID ALL RECESSED ACCESSORIES.				
C. SEE TYPICAL MOUNTING HEIGHT DIAGRAMS AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.				
COMMENTS				
1. AT DOORS 107, 112				
SHOWER CURTAIN AND ROD (OFOI) for RR 112 GLASS SHOWER ENCLOSURE, AMERICAN STANDARD, AM00816400, 60 X 76, BRUSHED NICKEL. NOTE: VIF DOOR WIDTH TO CLEAR WC FIBERGLASS SHOWER WALL, AMERICAN STANDARD, ASPIRATIONS 25515W136, 60 X 36 X 84, WITH BUILT-IN SHELVES, WHITE ACRYLIC SHOWER BASE, AMERICAN STANDARD, A8021T-RHO, 60 X 36 X 2-3/4, WHITE.				

SCHEDULE NOTES	
A. PROVIDE SAFETY GLAZING PER CODE.	
B. SWINGING DOOR DIMENSIONS ARE OPENING SIZE. CONTRACTOR TO COORDINATE PANEL SIZE AND ROUGH OPENING DIMENSIONS.	
C. SEE FRAME TYPES FOR TYPICAL DETAILS UNLESS NOTED OTHERWISE.	
WD = WOOD HM = HOLLOW METAL PT = PAINT	



APPLIANCES SCHEDULE				
DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
[DWSR] DISHWASHER	OFOI	-	-	1, 2
[R-1] RANGE	OFOI	-	-	2
[RH-1] RANGE HOOD	OFOI	-	-	2, 4
[REF] REFRIGERATOR	OFOI	VERIFY REQ. WITH OWNER	-	2
[MW] MICROWAVE	OFOI	-	-	2
[TV1] TV	OFOI	-	-	2, 3
[TV2] AVIDS TV	OFOI	-	-	2, 3
[WD] WASHER AND DRYER	OFOI	VERIFY REQ. WITH OWNER	-	1, 2, 4
NOTES				
A. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR ALL ACCESSORIES.				
B. CONTRACTOR TO ROUTE UTILITIES IN WALL TO AVOID ALL RECESSED ACCESSORIES.				
C. SEE TYPICAL MOUNTING HEIGHT DIAGRAMS AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.				
COMMENTS				
1. PROVIDE PLUMBING AS REQUIRED				
2. PROVIDE POWER AS REQUIRED				
3. PROVIDE DATA AS REQUIRED				
4. VENT TO THE OUTSIDE				
ABBREVIATIONS				
OFOI = OWNER FURNISHED, OWNER INSTALLED				
OFCI = OWNER FURNISHED, CONTRACTOR INSTALLED				

LIGHT FIXTURE SCHEDULE				
DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
[L-1] ROUND DOWNLIGHT	HALO	HLBPH6	WHITE	3500K
[L-2] LINEAR SURFACE MOUNT	CORELITE	RZL-WL	WHITE	4000K
[L-3] ROUND SURFACE MOUNT	HALO	FM159S1EWHR	WHITE	3500K
[L-4] ROUND SURFACE MOUNT	HALO	SMX14RLS	WHITE	3500K
[L-5] CANLESS RECESSED	HALO	RL4-0M	WHITE	WET LOCATION
[L-6] LINEAR SURFACE MOUNT	METALUX	LBLED	WHITE	8" SYMMETRIC
[L-7] HORIZ. WALL SCIENCE	SHAPER	605-W-25 AND 605-W-49	WHITE	3000K
[L-8] EXTERIOR SPOT LIGHT	-	-	-	LED REPLACEMENT
[L-9] EXTERIOR SPOT LIGHT	-	-	-	LED REPLACEMENT
NOTES				
A. ALL LIGHTING IS NEW, PROVIDED AND INSTALLED BY CONTRACTOR				
COMMENTS				

BID SET 01.06.25

PERMIT SET 12.20.24

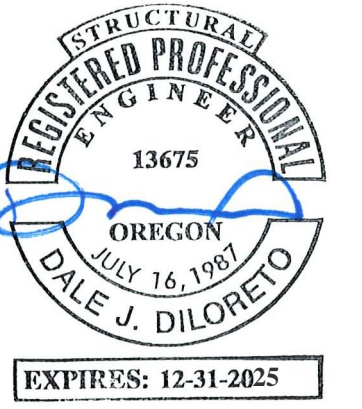
ISSUE DATE

Drawing:

SCHEDULES AND FINISHES

Sheet No:

A10.01



**Clackamas Fire
District:
Station 12**
Job Number: #24115
18081 S Harding Rd
Oregon City, OR 97045



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ABBREVIATIONS

A.B.	ANCHOR BOLT
A.F.F.	ABOVE FINISH FLOOR
ALT.	ALTERNATE
ARCH	ARCHITECTURAL
BD	BOARD
BLDG	BUILDING
BLKS	BLOCKING
BM	BEAM
B.N.	BOUNDARY NAILING
B.O.F.	BOTTOM OF FOOTING
BOTTOM	BOTTOM
BRG	BEARING
BETWEEN	BETWEEN
C	CAMBER
C.F.D.	CEMENT FIBER DECK
C.J.	COLD JOINT
CL	CENTER LINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CONTR	CONCRETE
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
COORD	COORDINATE
C.P.	COMPLETE PENETRATION
COUNTERSINK	COUNTERSINK
DBL	DOUBLE
DET	DETAIL
D.F.	DOUGLAS FIR
DIA	DIAMETER
DIM	DIMENSION
DIR	DIRECTION
DL	DEAD LOAD
DD	DITTO
DP	DEEP
DRWG	DRAWING
EA	EACH
E.J.	EXPANSION JOINT
EL or ELEV	ELEVATION
EMBED	EMBEDMENT
EN	EDGE NAILING
EQ	EQUAL
EQ. WAY	EQUAL WAY
EXIST or (E)	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FACE	FACE
FDN	FOUNDATION
F.F.	FINISH FLOOR
FIN	FINISH
FLR	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.O.SH.	FACE OF SHEATHING
FS	FACE SIZE
FTG	FOOTING
GA	GAGE OR GAUGE
GALV	GALVANIZED
GEN	GENERAL
G.L.	GLUE LAMINATED
GLB	GLUE LAMINATED BEAM
GYP WALL BD	GYP SUM WALLBOARD
H.C.A.	HEADED CONCRETE ANCHOR
HDR	HEADER
HGR	HANGER
HORIZ	HORIZONTAL
HT	HEIGHT
ICF	INSULATED CONCRETE FORM
INT	INTERIOR
INFO	INFORMATION
IST	JOIST
JT	JOINT
LBS or #	POUNDS
LL	LIVE LOAD
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LSL	LAMINATED STRAND LUMBER
LVL	LAMINATED VENEER LUMBER
MANUF	MANUFACTURER
MAT'L	MATERIAL
MAX	MAXIMUM
M.B.	MACHINE BOLT
MBR	MEMBER
MECH	MECHANICAL
MIN	MINIMUM
(N)	NONE
N.A.	NEUTRAL AXIS
N.S.	NON-SHRINK
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H. or OPP	OPPOSITE HAND
P.A.F.	POWDER ACTUATED FASTENER
PERF	PERFORATED
PL	PLATE
PLCS	PLACES
PLYWD	PLYWOOD
P.P.	PARTIAL PENETRATION
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
P.T.	PRESSURE TREATED
REINF	REINFORCEMENT/REINFORCING
REQD	REQUIRED
SCHED	SCHEDULE
SHT	SHEET
SHTG	SHEATHING
SM	SIMILAR
S.O.G.	SLAB ON GRADE
SPECS	SPECIFICATIONS
SQ	SQUARE
S.S.	STAINLESS STEEL
STD	STANDARD
STIFF	STIFFENER
STL	STEEL
STRUCT	STRUCTURAL
SW	SHEAR WALL
THRD	THREADED
T.O.C.	TOP OF CONCRETE
T.O.F.	TOP OF FOOTING
T.O.J.	TOP OF JOIST
T.O.S.	TOP OF SLAB OR STEEL
T.O.P.	TOP OF PILE
T.O.P.C.	TOP OF PILE CAP
T.O.W.	TOP OF WALL
T&G	TONGUE AND GROOVE
TYP	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT	VERTICAL
W.J.	WET JOINT
W.W.F.	WELDED WIRE FABRIC
W	WITH
W/O	WITHOUT
#	POUNDS or NUMBER
±	PLUS or MINUS

STRUCTURAL NOTES

01.0 GENERAL NOTES

- These notes set minimum standards for construction. The drawings govern over the Structural Notes to the extent shown.
- Contractor shall verify all dimensions and conditions on drawings and in field. Coordinate locations of openings through floors, roofs and walls with architectural, mechanical and electrical plans. Notify owner's representative of any discrepancies.
- Construction means, methods and all necessary temporary support prior to completion of vertical and lateral load systems is the sole responsibility of the contractor.
- Compliance with all safety and OSHA requirements is the sole responsibility of the contractor.
- All work shall be in compliance with 2022 edition of the "Oregon Structural Specialty Code" (OSSC) 2018 edition of the "International Building Code" (IBC) as amended by all other state and local codes, permits, and building department requirements that apply.
- Where reference is made to ASTM, AISC, ACI or other standards, Code referenced issue shall apply.
- Special inspection shall be provided as required by the OSSC and outlined in the special inspection section of the structural drawings.
- Design Criteria:

Table 1604.5		Design Criteria	
Risk Category	Risk Category	IV	
Roofs	Dead load	15 psf	
	Snow load (minimum)	20 psf x I _s	
	Ground snow load, P _g	10 psf	
	Flat-roof snow load, P _f	10 psf	
	Snow exposure factor, C _e	1.2	
	Snow importance factor, I _s	1.2	
	Thermal factor, C _t	1.0	
Floors	Dead load fitness room / lounge	22.2 psf /10 psf	
	Live load fitness room / lounge	100 psf / 50 psf	

- Details shown on the drawings are intended to apply to all similar conditions and locations.
- Do not scale information from drawings.

03.0 CONCRETE

- Strength: Average concrete strength as determined by job cast, lab cured cylinder shall be per the table below plus increase depending upon the plant's standard deviation as specified in ACI 318. Four (4) test cylinders meeting ACI 318 Section 26.12 shall be taken at each pour. One (1) cylinder shall be tested at 7 days and three (3) cylinders shall be tested at 28 days. Test reports are to include minimum and maximum cure box temperatures.

Use ^a	Strength, f _c psi		Max W/C ratio		Max Aggregate	EXP CLASS ^b
	At 28 Days	Non AE	AE	AE		
Int. slab on grade	2,500	0.42 ^c			1-1/2"	

- Water-cement ratio may be increased to 0.45 if adhesive applied finishes are not present
- Use exposure case 0 for all categories not listed.
- Uses indicated are for concrete elements identified on the structural drawings.

Total Air Content for Concrete Exposed to Cycles of Freezing and Thawing				Minimum Cementitious Material Content for Floors		
Nominal Maximum Aggregate Size, in	Target Air Content		Nominal Maximum Aggregate Size, in	Minimum Cementitious material content, lb/yd ³		
	F1	F2 & F3				
3/8	6.0%	7.5%	3/8	610		
1/2	5.5%	7.0%	1/2	610		
3/4	5.0%	6.0%	3/4	540		
1	4.5%	6.0%	1	520		
1 1/2	4.5%	5.5%	1 1/2	470		

- MINIMUM Mix Requirements:**
- Rough aggregate size for slabs on grade shall be 1-inch minus for slabs less than 5-inches thick and 1-1/2-inch minus for slabs 5-inches and thicker.
 - Slabs-on-grade, floor slabs and beams poured integral with floor slabs shall have a minimum cementitious material content as noted in the table based on nominal maximum size of aggregate used.
 - Add supplementary cementitious material to slab on grade and exposed wall concrete mixes (except at slabs to receive a polish finish - refer to project specifications). Supplementary cementitious material to be slag or fly ash. Do not add fly ash to air entrained mixes without making adjustments for potential loss of air. Limits on maximum percentage of total cementitious material by mass to be 20% for fly ash conforming to ASTM C618 with loss on ignition of 3% or less and 50% for slag conforming to ASTM C989 and added per ASTM C595. Include supplementary cementitious material in the water cement ratio. Supplementary cementitious material may be added to other concrete mixes and included in the water cement ratio but is not to be used as part of the minimum cement content. Contractor to consider late strength development and finishing for mixes with supplementary cementitious material.
 - Design slump: Minimum 3", maximum 9". Field variation from design slump +1/2 inch to -1 inch. When concrete is to be pumped add plasticizers and provide a new mix design to increase slump to a pumpable mix. Do not add water at the jobsite unless authorized by the concrete supplier.
 - Air Entrainment: For mix designs subject to freezing-and-thawing exposure classes F1, F2 and F3 shall be air entrained per the table. Where f_c ≥ 5000 psi, reduction of air content per the table by 1.0 percentage point is permitted.
 - Admix: Water reducing admix (Pozzolith/Polyheed/Rheobuild or equal).
 - All admixtures are to be from the same manufacturer unless evidence is submitted verifying compatibility of multiple source admixtures.
 - Place and cure all concrete per ACI codes and standards.
 - Sleeves, pipes or conduits of aluminum shall not be embedded in structural concrete unless effectively coated.

03.1 REINFORCING (CONCRETE)

- All reinforcing steel shall be ASTM A615, Grade 60.
- Tack welding of rebar is not permitted.
- Fabricate reinforcing steel according to ACI 315, Details and Detailing of Concrete Reinforcement. Install reinforcing per CRSI MSP-1, ACI 301 and ACI 318.
- Splices in reinforcing shall be lapped 45 diameters or 2'-0", whichever is greater, and shall be staggered at least 4 feet at alternate bars.

06.0 WOOD FRAMING

- All lumber species and grade to be as follows:

Joists, beams and stringers (2x & 4x)	DF #2 K.D. - 15 percent M.C.
6" nominal & greater beams and stringers	DF #1-19 percent M.C.
Bucks, blocking, bridging and misc.	DF #3 or better
Structural 2x studs	DF #2-19 percent M.C.
Plates, sills and headers for wall framing	DF #2 K.D. - 15 percent M.C.
Posts	DF #1 - 19 percent M.C.
Sills, ledgers, plates, etc embedded in or in contact with concrete, not exposed to weather	Pressure treated Hem Fir #2 KDAT AWPA UC2 (ACZA Not Allowed)

- Where moisture content is provided, do not install framing if members exceed noted moisture content
- All engineered wood to meet the following criteria:

Material	Grade	Fb	Fv	E
Laminated Veneer Lumber (LVL)	2.0E	2,500 psi	285 psi	2.0 x 10 ⁶ psi

- Approved manufacturers: RedBull LLC, LP Building Products or iLevel, a Weyerhaeuser business.
- Sheathing shall be APA Rated plywood Sturd-I-Floor, C-D grade, Exposure 1 with Performance Category and Span Rating as noted below. Each sheet shall bear an APA stamp. Install floor sheathing per plans with face grain perpendicular to supports and stagger end joints. Glue floor sheathing per plans. Protect all sheathing from weather damage and moisture. Replace all buckled or soft sheets. Do not cover sheathing with permanent finishes until sheathing has a moisture content of less than 19%.

Location	Performance Category	Span Rating
Floors	23/32 T&G	24 oc

- Framing anchors, joist hangers, post caps, etc., shall be by 'Simpson Strong-Tie'. Install per manufacturer's recommendations for tabulated maximum capacities with fasteners installed in all holes. Framing anchors attached to pressure treated lumber shall be Z Max coated or hot dipped galvanized and attached with hot dipped galvanized (2.0 oz per square foot) or stainless steel nails or screws. Framing anchors installed at exterior locations exposed to weather are to be stainless steel with stainless steel fasteners.
- All nailing shall be per IBC Table 2304.10.2. Nails called for on the drawings shall be common for plywood nailing; box nails for framing; and type recommended by manufacturer for maximum capacity of hangers and connectors. Nail heads shall not penetrate the face veneer of plywood panels.
- Nails, bolts or lags in pressure treated lumber shall be hot dipped galvanized or stainless steel.
- Cutting and notching of joists not allowed. A one-inch (1") diameter hole may be drilled in the center 1/3 of width of member depth. All other holes shall be approved.
- Studs may be notched in the lower 1/5 of the height of stud for electrical and plumbing pipes, but no part of the notch is to be deeper than 25 percent of width of stud. Holes of diameters up to 1/3 of width of stud may be drilled in stud but not in center 1/3 of height. The edges of drilled holes are to be at least 5/8 inch from the face of the stud.
- Provide deflection space over all non-bearing walls.
- Lag bolts shall be installed in lead holes as follows:
 - The lead hole for the shank shall have the same diameter as the shank and the same depth as the length of the threaded shank.
 - The lead hole for the threaded portion shall have a diameter equal to 70 percent of the shank diameter and a length equal to at least the length of the threaded portion.
 - The threaded portion or the screw shall be inserted in its lead hole by turning with a wrench, not by driving with a hammer. Soap or other lubricants may be used on the screws or in the lead hole to facilitate insertion and prevent damage to the screw.

STRUCTURAL NARRATIVE

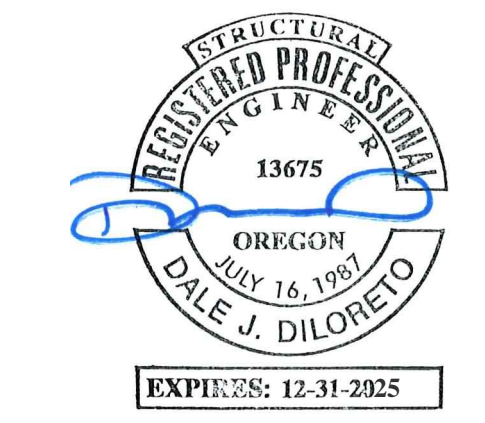
Structural work is limited to floor improvements for conversion of a portion of the second floor to a fitness room, new stair framing, new bearing wall at the stairs, new second floor partial wall guardrail, and new beam at portion of removed bearing wall. There are no modifications to the existing structures main lateral force resisting systems.

DRAWING INDEX	
DRAWING NUMBER	DRAWING NAME
S1.01	STRUCTURAL NOTES AND ABBREVIATIONS
S2.01	FIRST FLOOR & SECOND FLOOR FRAMING PLAN
S3.01	DETAILS

BID SET	01.06.25
PERMIT SET	12.20.24
ISSUE	DATE

Drawing:
**STRUCTURAL
NOTES AND
ABBREVIATIONS**

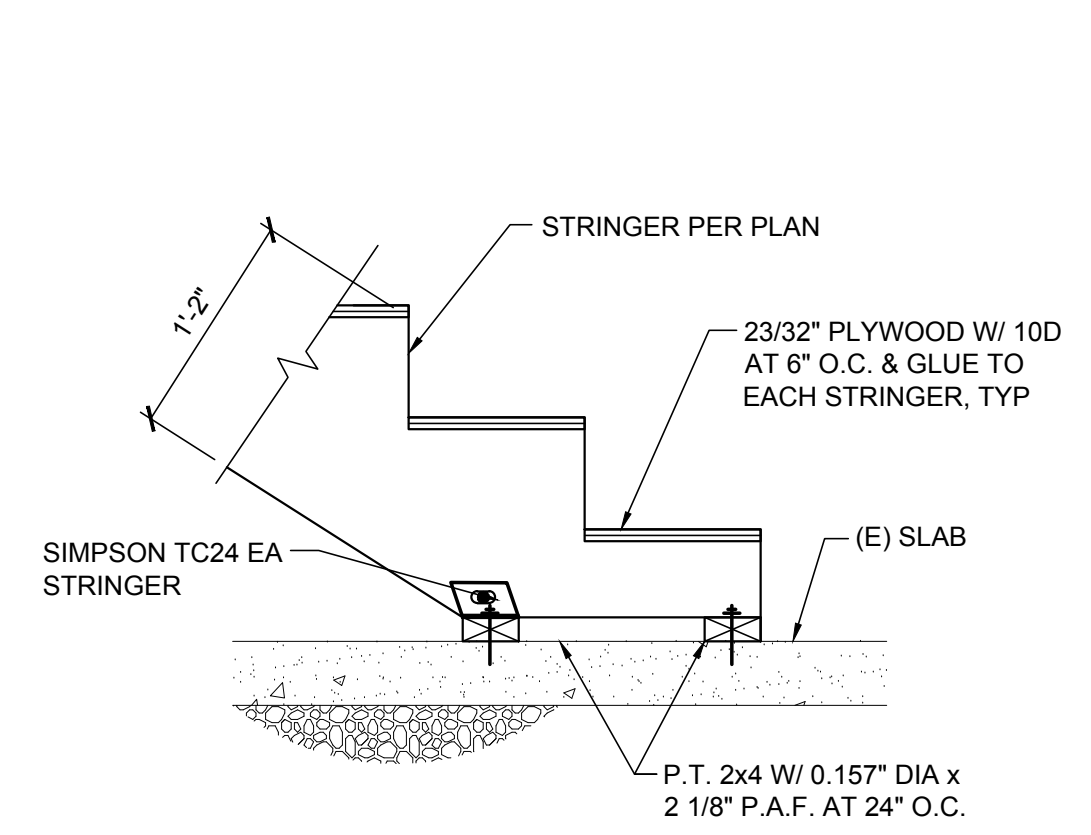
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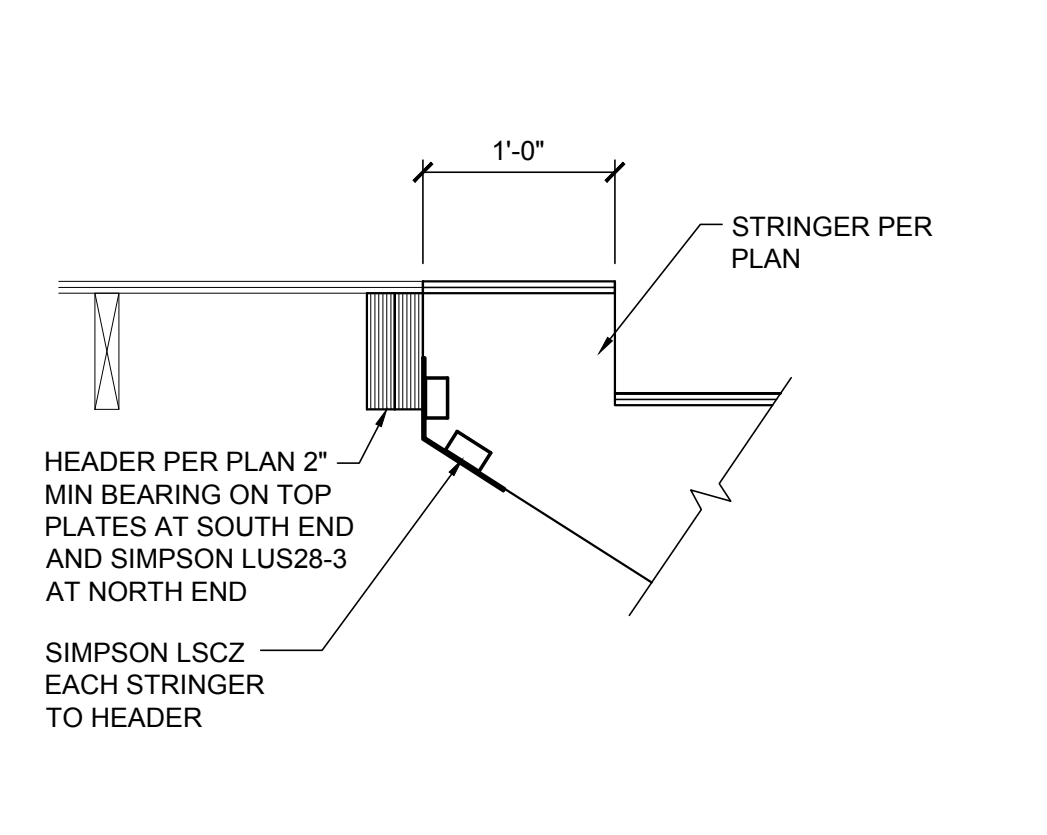
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District:
Station 12**

Job Number: #24115

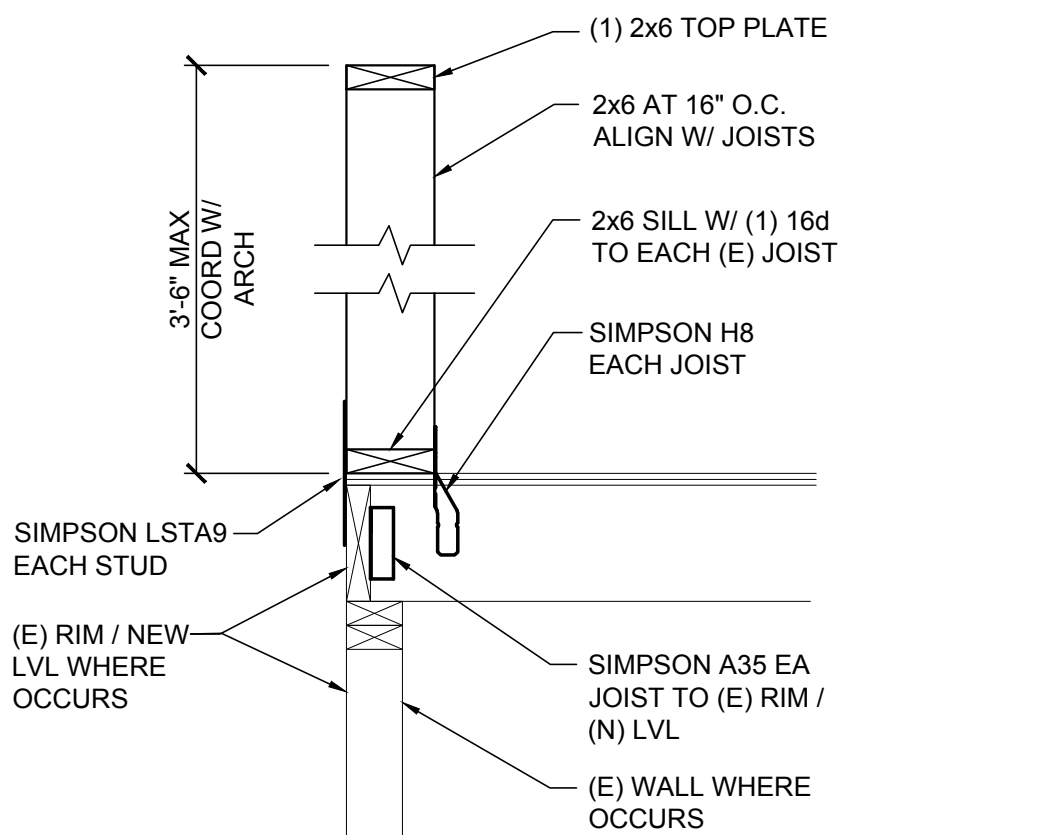
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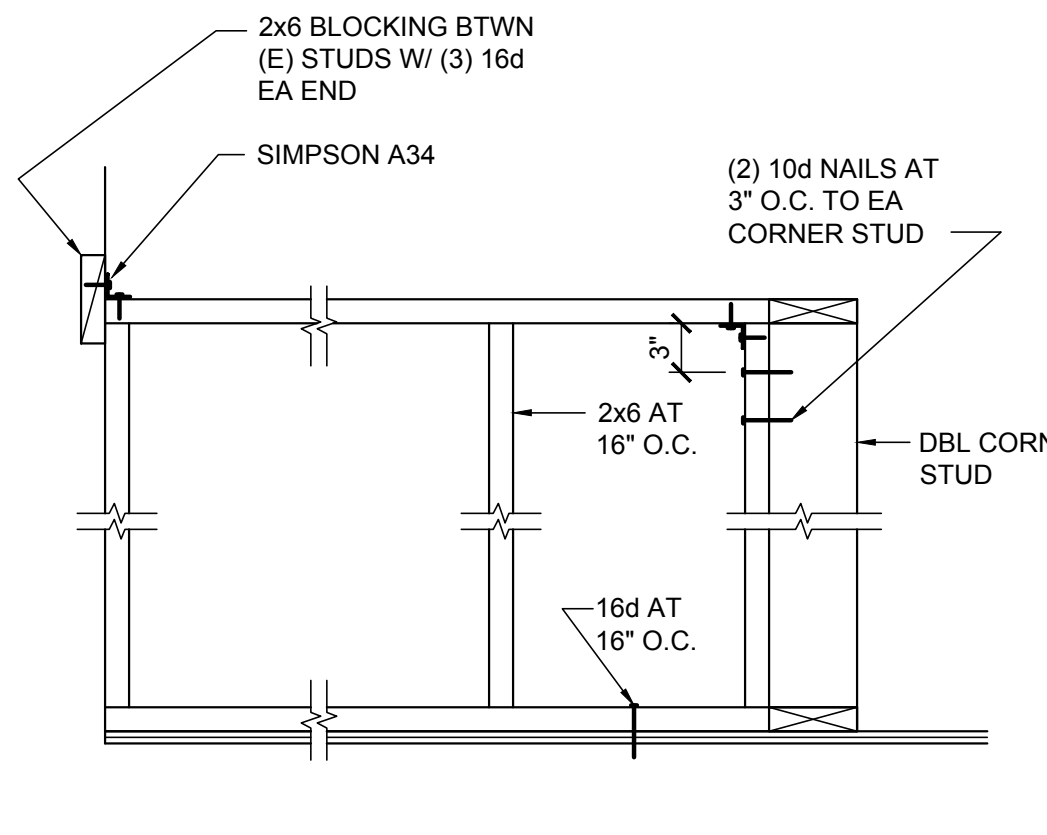
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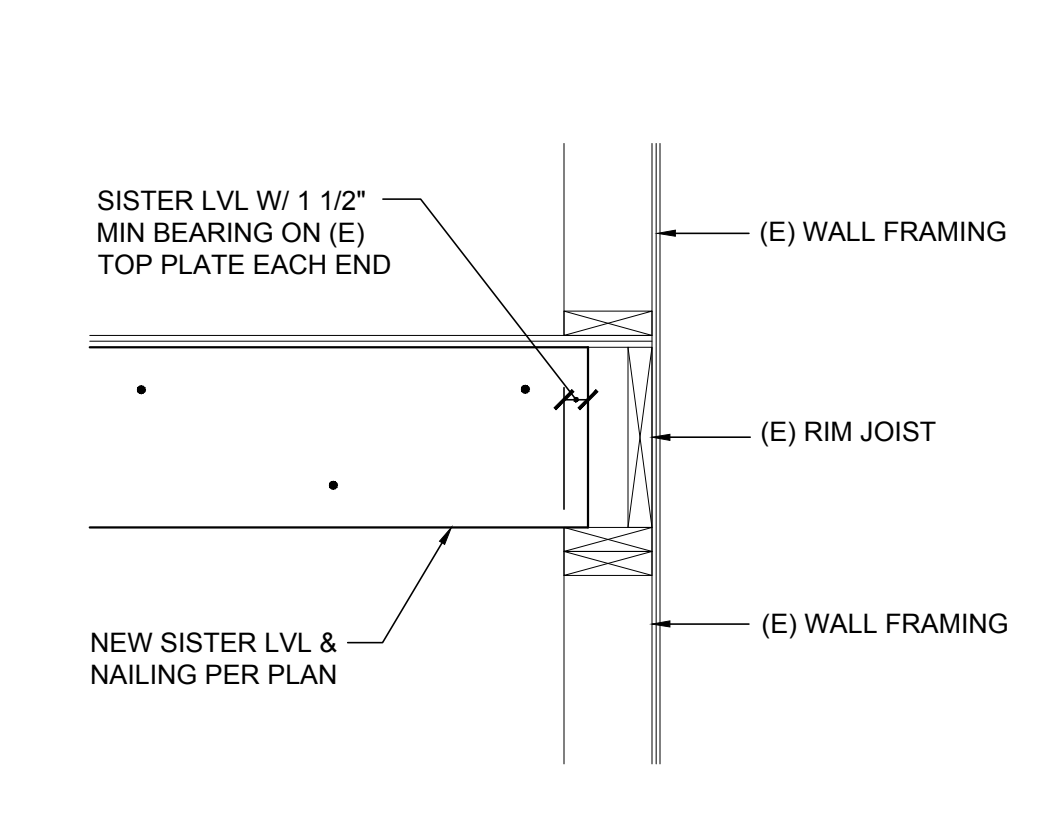
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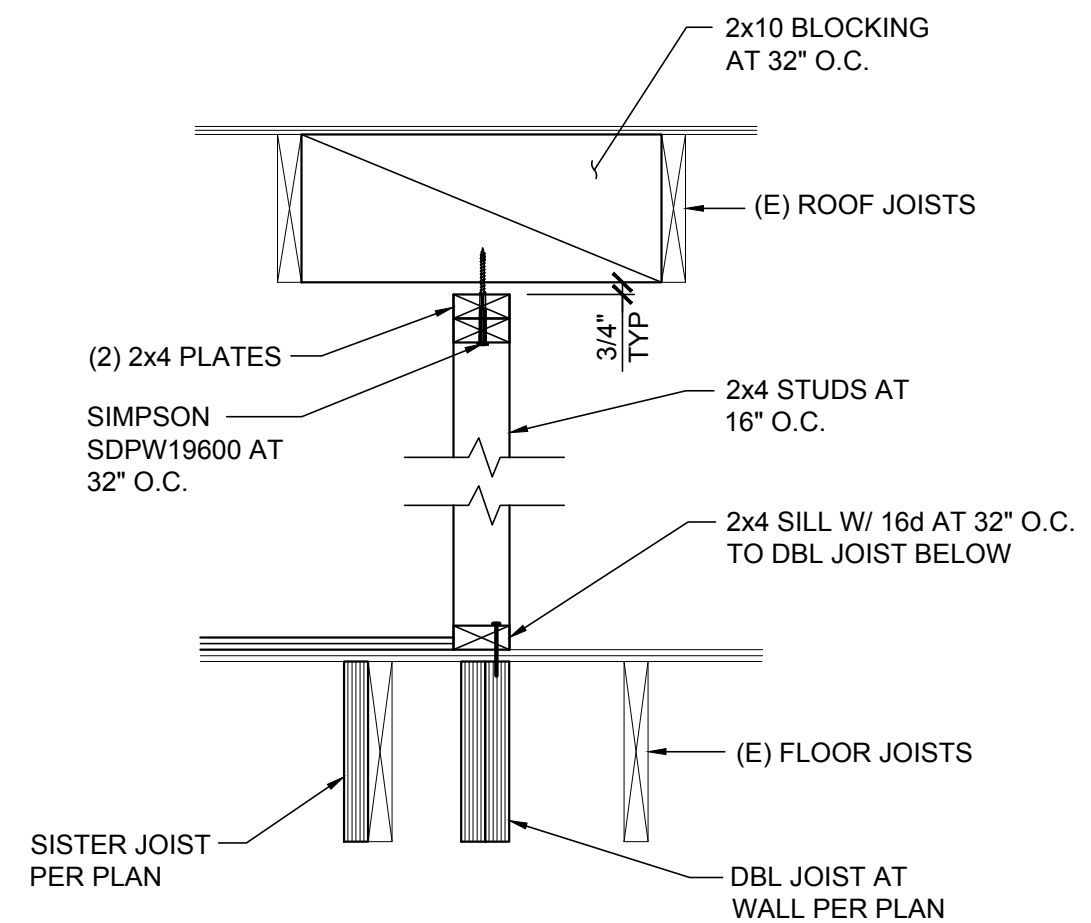
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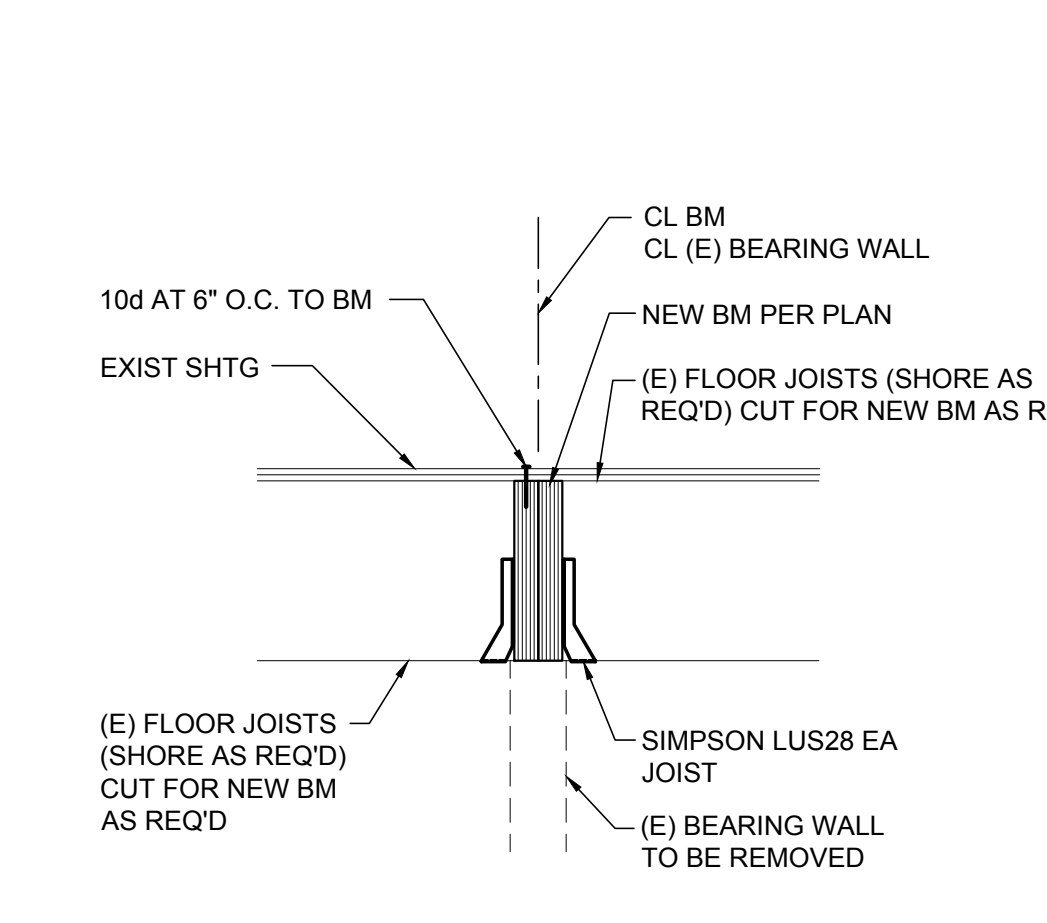
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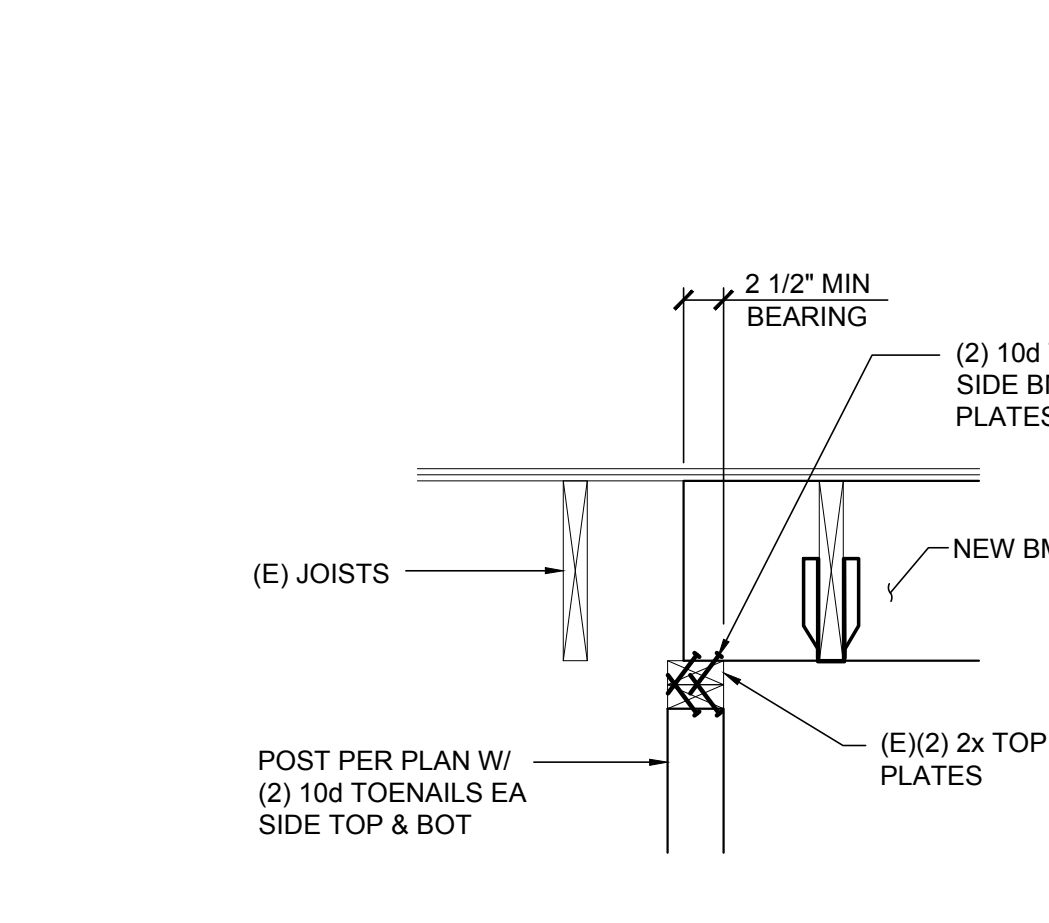
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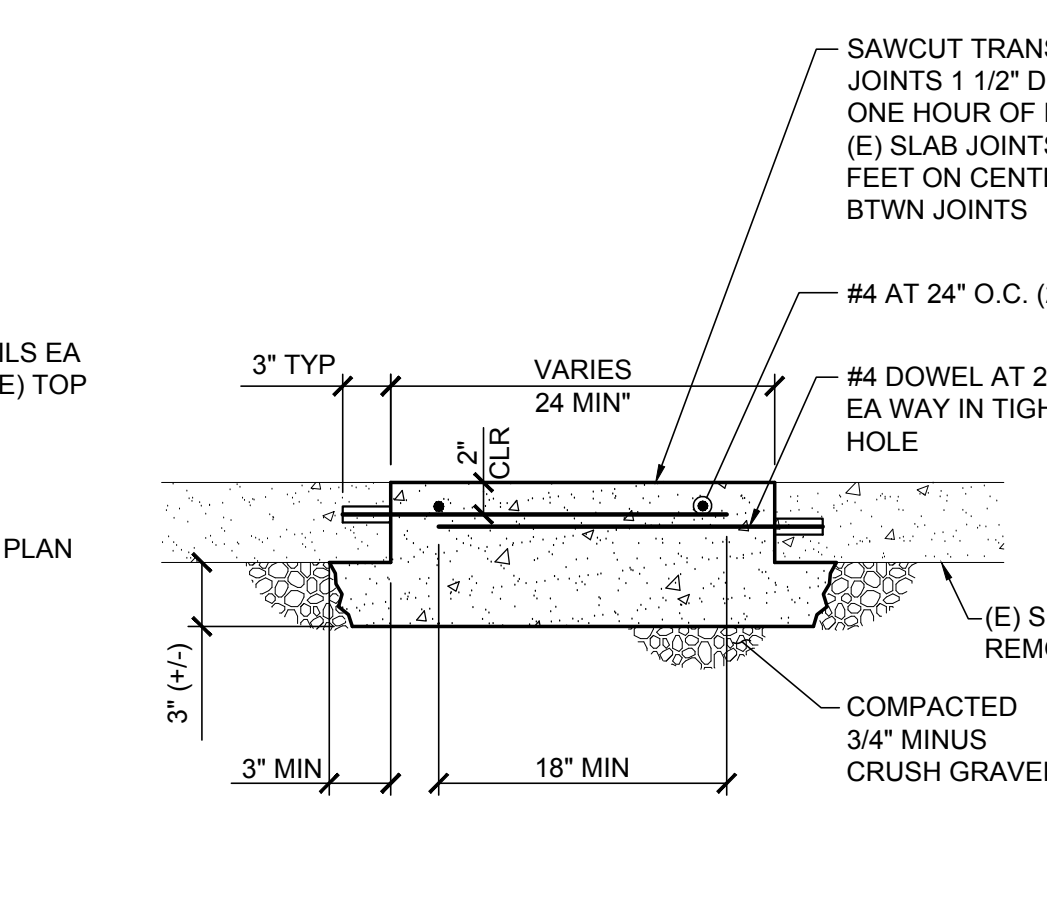
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PERMIT SET	12.20.24
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DETAILS	

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